



## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 46 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **46 Fox Street** is located on the west side of the street, between Broadway and Sycamore Street. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at the Best Street. A vacant lot borders the property to the north.

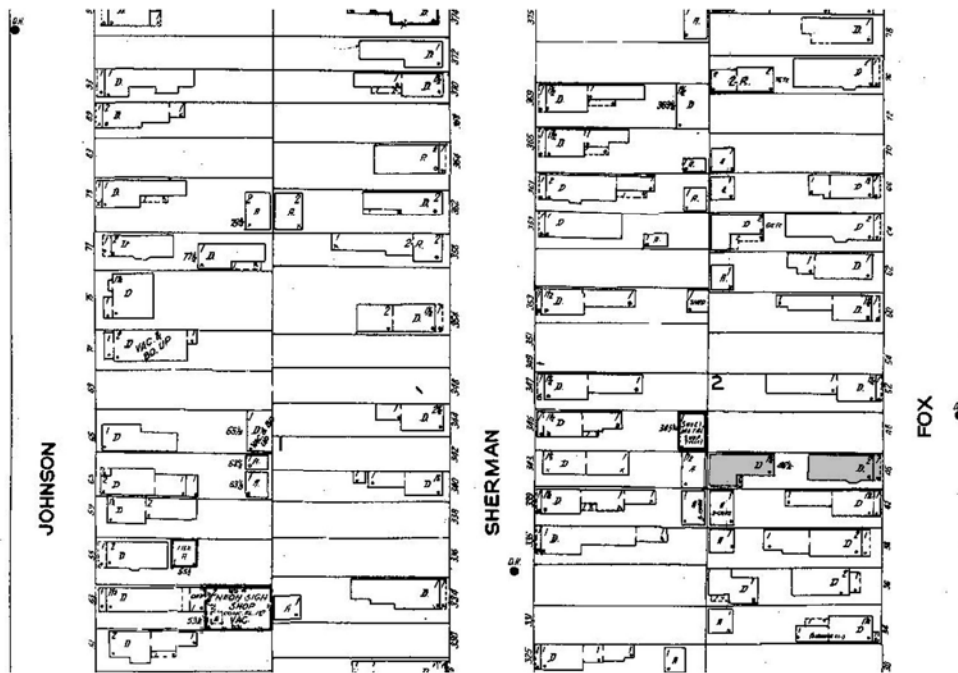
A two-story, hipped-roof, frame building with a Craftsman porch. It has a rectangular plan and is set on a limestone block foundation. The façade has a full-width porch with a limestone block foundation and pedestals, battered, square piers and an open wooden rail. The entrance is located in the north bay. Fenestration is one-over-one double-hung wood sash. Exterior fabric is clapboard. The upper façade has an open porch with wooden balustrade, a polygonal oriel in the south bay and an entrance in the north bay. A hipped dormer with a paired window grouping rests on the front slope.

A detached, one-and-one-half-story, front-gabled cottage (ca. 1880) is located at the rear of the lot. It is set on a limestone block foundation. Exterior fabric is clapboard. The gable end features Eastlake saw tooth molding.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 46 Fox Street is significant as a good representative example of Craftsman residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. Built for Ernest A. Wahl, who had the earlier c. 1880 house on the lot moved to the rear, now No. 46½. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 252



PHOTOGRAPH: (Broadway-Fillmore R-1; N-32)







## HISTORIC RESOURCE INVENTORY FORM

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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 52 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

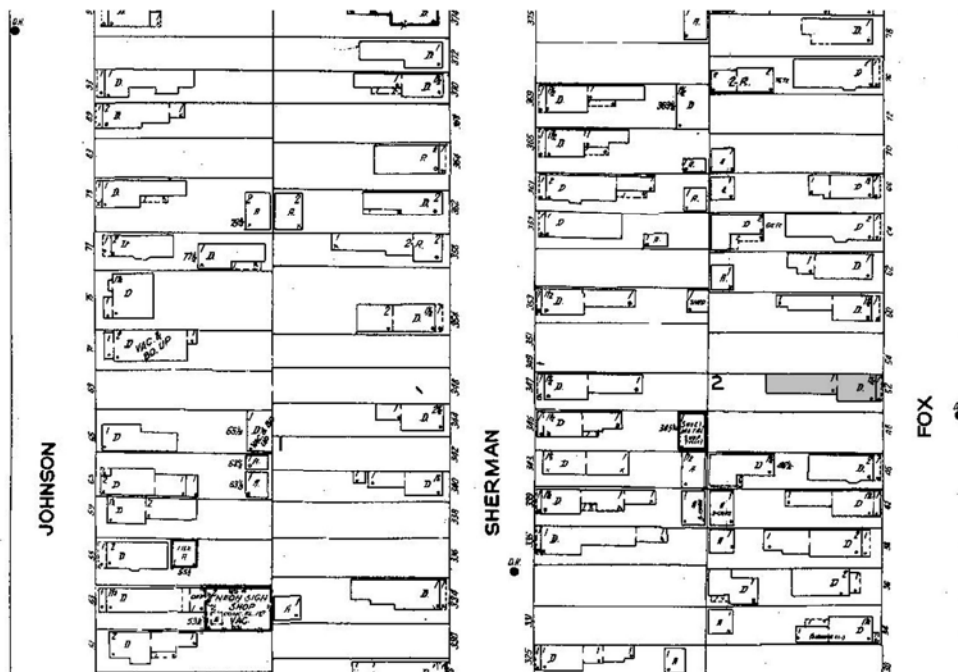
The single-family house at **52 Fox Street** is located on the west side of the street, between Broadway and Sycamore Street. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with a rusticated concrete block foundation and pedestals, columns with and a pediment above the entry. The main entrance is in the north bay. Exterior wall fabric is clapboard. Fenestration is three- and one-over-one, and four-over-four double-hung wood sash. Eastlake molding accents the gable end. The south elevation has an oriel. A one-story, gabled-roof addition with entrance on the south elevation extends west from the west end of the main block. Brick chimneys rests on the center ridge of the main block and on the front ridge of the rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 52 Fox Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 252



PHOTOGRAPH: (Broadway-Fillmore R-1; N-33)







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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 64 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Additions, 1902, 1907 Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The multiple-family house at **64 Fox Street** is located on the west side of the street, between Broadway and Sycamore Street. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street.

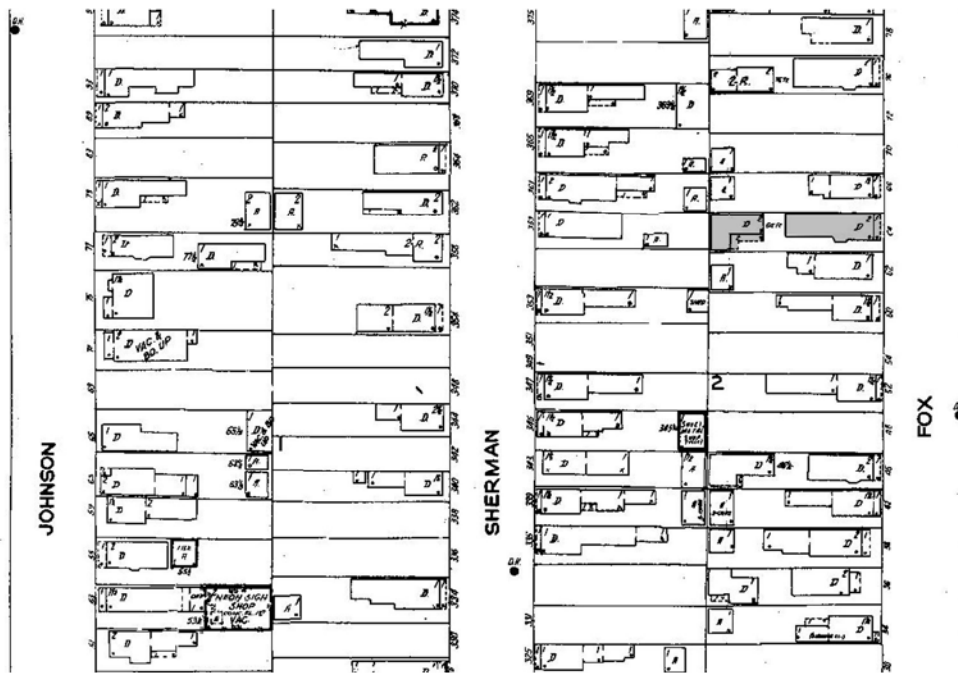
A two-and-one-half story, front-gabled, frame, vernacular residence with no foundation. It has a rectangular plan and no basement. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. The façade has a full-width porch with beveled columns capped by Ionic capitals, a solid rail and a pediment above the entry. The solid porch rail was originally sheathed with wood shingle. The entrance is located in the north bay. Fenestration is symmetrical featuring one-over-one double-hung sash. The gable end features a paired window grouping with transom, Eastlake molding and imbricated wood shingles. A full-height, polygonal bay with pediment and a side entrance are located on the south elevation. Two brick chimneys rest on the roof ridge.

A detached, two-story, gabled L-shaped cottage (1907) is located at the rear of the lot. Exterior fabric is clapboard. It has an open porch with Ionic-style columns contained within the ell.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 64 Fox Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 252



PHOTOGRAPH: (Broadway-Fillmore R-1; N-34)







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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 66 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1903

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852 –2020 ext. Email: cbca@buffnet.net Date: 03/2004

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

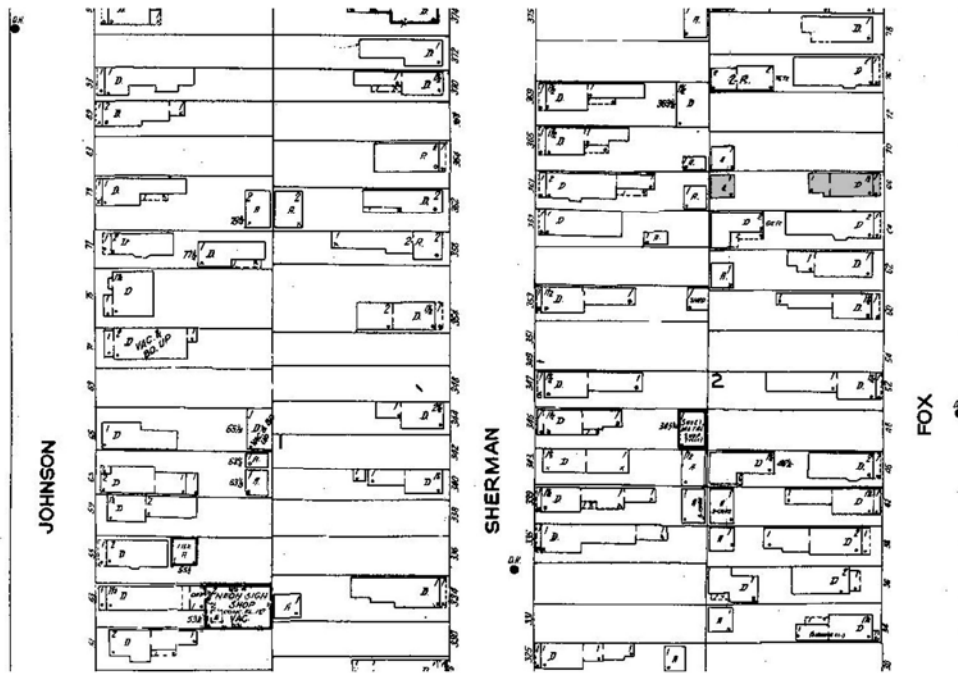
The single-family house at **66 Fox Street** is located on the west side of the street, between Broadway and Sycamore Street. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. A vacant lot borders the property to the north.

A one-and-one-half story, frame, extended workers' cottage with a steeply-pitched, front-gabled roof. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width, Craftsman-detailed porch that includes square columns, a wood-shingled solid rail, and hipped roof. The main entrance is in the south bay. Exterior wall fabric is clapboard. Fenestration is three- and one-over-one, double-hung wood sash. The gable end features a paired window grouping and Eastlake sawtooth molding. A shed wall dormer is located on the south elevation. A one-story addition extends west from the west end of the main block. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **66 Fox Street** is significant as a good representative example of an early twentieth century, extended workers' cottage with early twentieth century Craftsman detailing. It was built for Anna M. Gemuek. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 252



PHOTOGRAPH: (Broadway-Fillmore R-1; N-35)







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(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 85 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: two-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

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Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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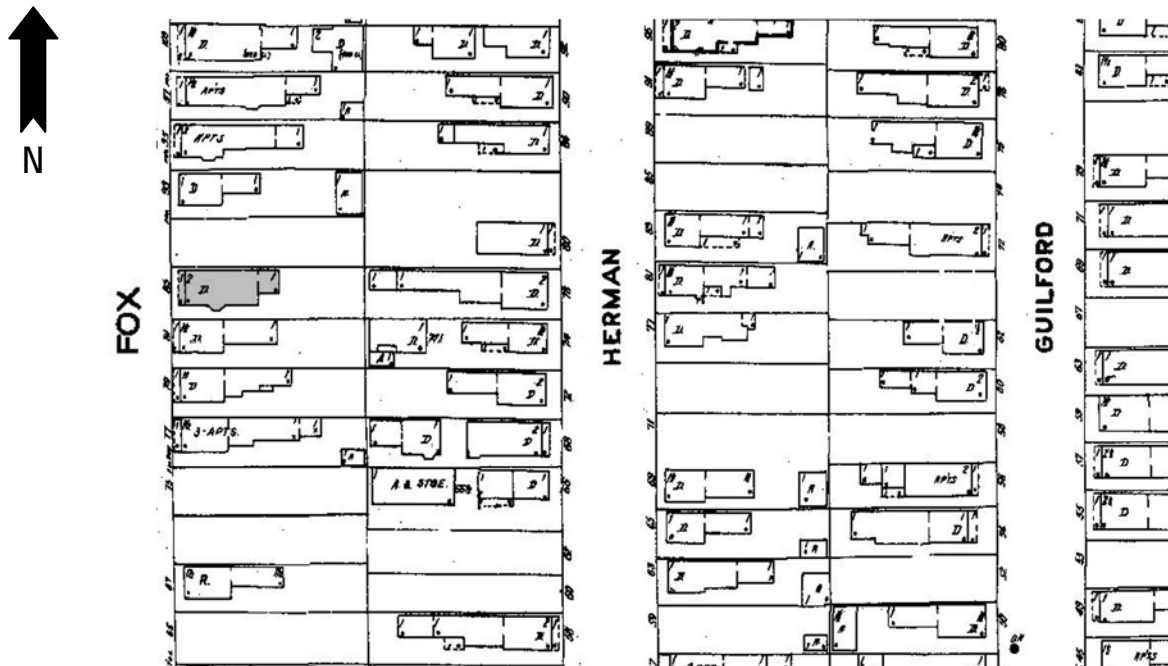
The two-family house at **85 Fox Street** is located on the east side of the street, between Broadway and Sycamore Street. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. Vacant lots border the property to the north and south.

A two-and-one-half story, front-gabled, frame, Queen Anne residence. It has a rectangular plan and is set on a limestone block foundation. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. The façade has a full-width porch with square columns, an open wooden rail, and a pediment above the door with an intricate floral motif. The entrance is located in the north bay. Fenestration is symmetrical featuring one-over-one double-hung sash with hoods. The gable end features a triple window grouping. Several window openings have been boarded. A full-height, polygonal bay with pediment and a side entrance are located on the south elevation. Two brick chimneys rest on the roof ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 85 Fox Street is significant as a good representative example of a Queen Anne house in the Broadway-Fillmore neighborhood. This two-family house was remodeled in 1903 for August Dobler. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 253



PHOTOGRAPH: (Broadway-Fillmore R-1; N-36)







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### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 164 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1880

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **164 Fox Street** is located on the west side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. A vacant lot borders the property to the north.

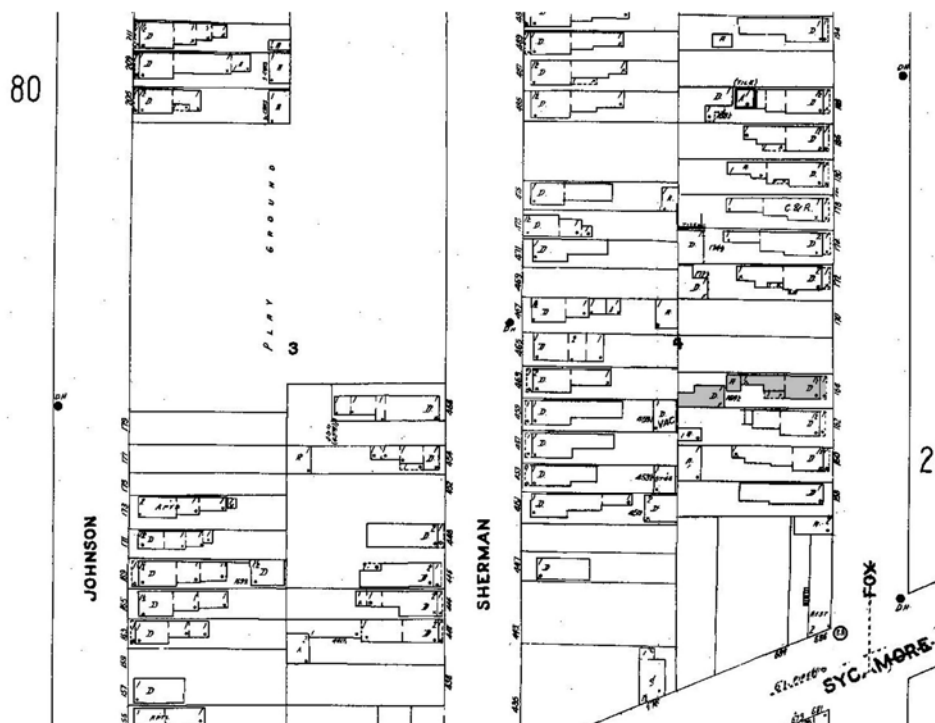
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with square columns, a solid rail, and flat roof. The entry door with an Eastlake enframingent,  $\frac{3}{4}$  sidelights, and transom, is located in the north. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The upper façade window openings feature Eastlake hoods and surrounds. Eastlake saw tooth molding accents the gable end. A long, one-story addition and a one-story garage are attached to the west end of the main block. A brick chimney rests on the center ridge of the rear addition.

A detached, one-and-one-half-story, front -gabled cottage is located at the rear of the lot. The entry door with awning is located in the south bay. It has two-over-two, double-hung wood sash windows. Exterior fabric is clapboard. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 164 Fox Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 265



PHOTOGRAPH: (Broadway-Fillmore R-1; N-37)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 186 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1888

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

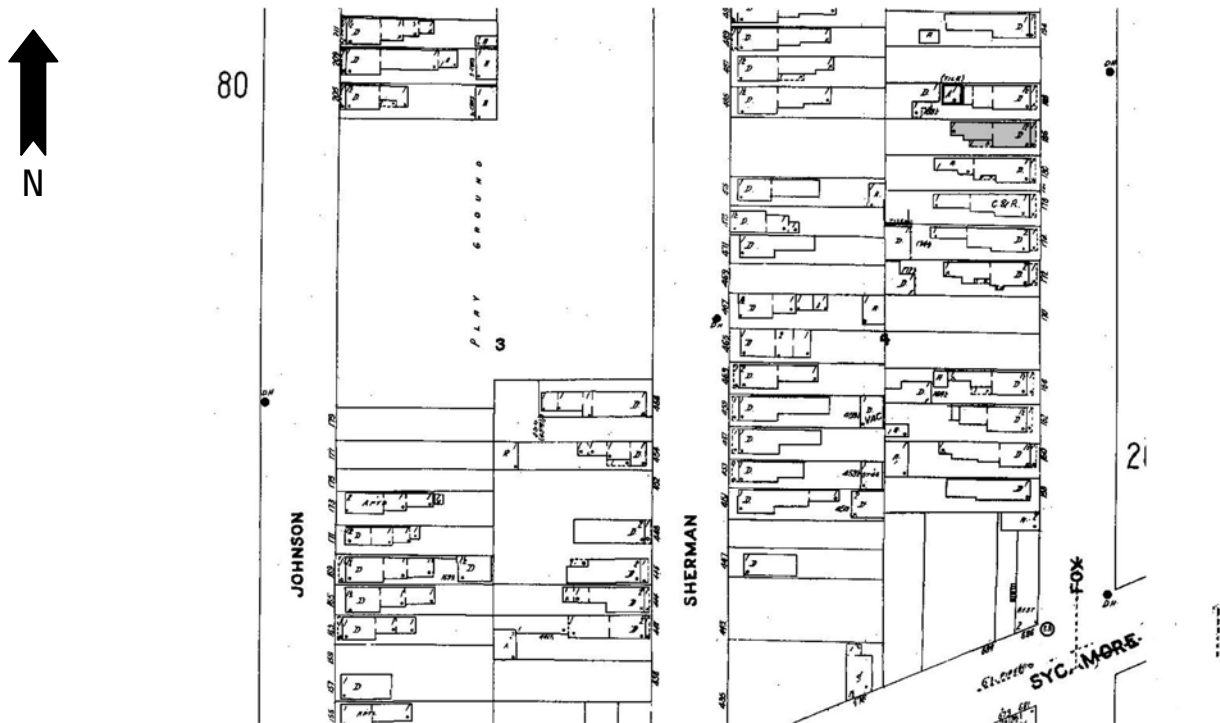
The single-family house at **186 Fox Street** is located on the west side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with a rusticated concrete block foundation and pedestals, Ionic columns, a replacement metal rail, and flat roof. The entry door with  $\frac{3}{4}$  sidelights and a filled-in transom is located in the north bay. Exterior wall fabric is clapboard with a banding of wood shingles dividing the lower and upper levels. Fenestration is one-over-one, double-hung wood sash. Other decorative elements include a beltcourse, stickwork in the gable end, and wood shingles in the gable peak. A gabled dormer is located on the south slope. Extending west from the west end of the main block is a one-story addition with entrance and entry porch on the side elevation. Two brick chimneys rest on the south slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 186 Fox Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Neoclassical porch columns. It was built for August Sigrist. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 265



PHOTOGRAPH: (Broadway-Fillmore R-3; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 191 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1888

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

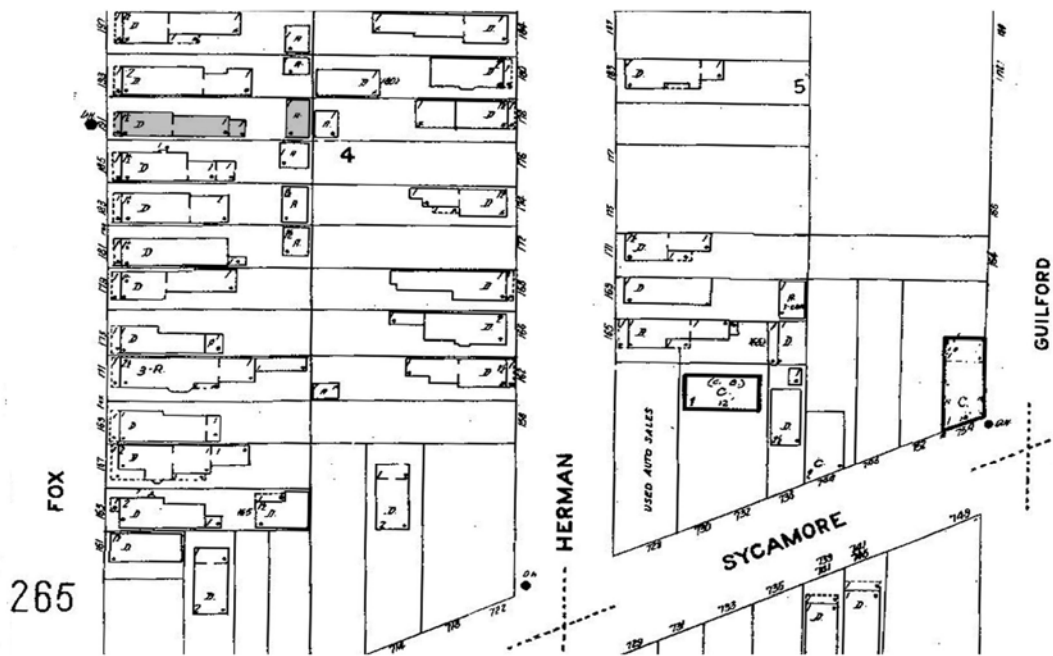
The single-family house at **191 Fox Street** is located on the east side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with square columns set on a bowed, solid rail sheathed with wood shingles, a frieze with swag motif, and a pediment with floral motif above the entry. A vestibule, with  $\frac{3}{4}$  sidelights flanking the entrance door, is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features a paired window grouping with a projecting gable peak sheathed with imbricated wood shingles. Extending east from the east end of the main block are two one-story, gabled-roof additions. Brick chimneys rest on the north slope of the main block and the center ridge of the rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 191 Fox Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. The house was enlarged for Anthony Schwab in 1923 and 1926. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 229 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1880

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

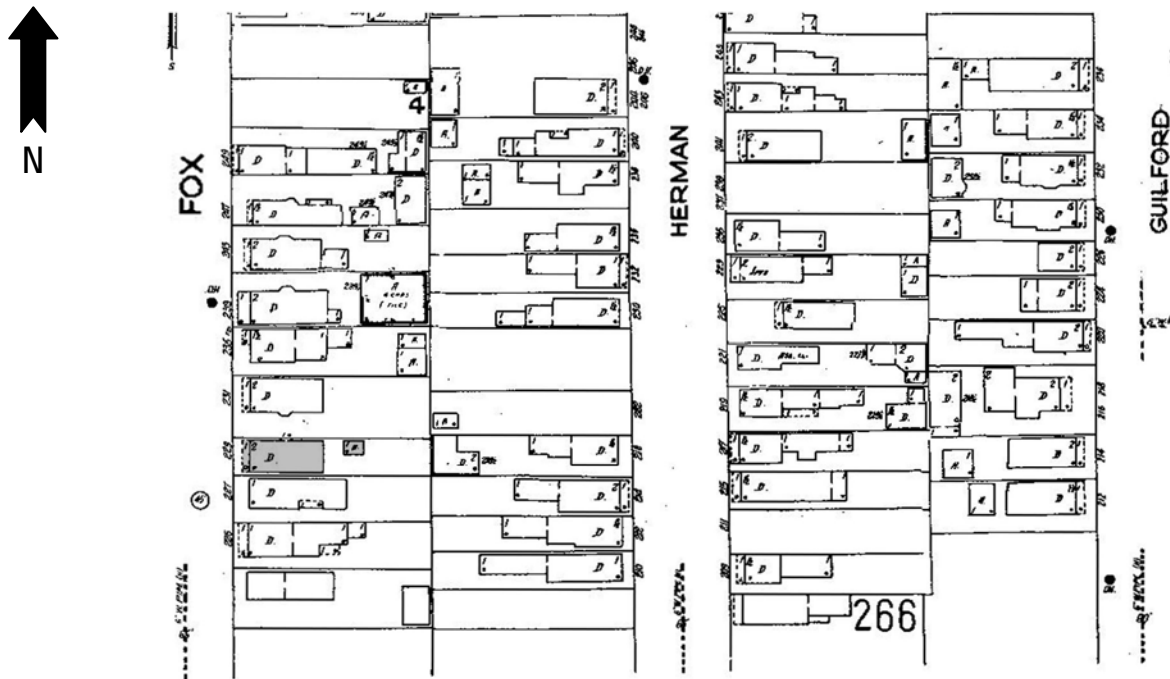
The multiple-family house at **229 Fox Street** is located on the east side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. Vacant lots border the property to the north and south.

A two-and-one-half story, closed-gabled, frame, vernacular residence. It has a rectangular plan. The main block rests on piers and the eastern section of the building is set on a limestone block foundation. The façade has a full-width porch with a rusticated concrete block foundation, square columns, and a solid rail sheathed with wood shingles. The entrance is located in the south bay. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash. The façade windows have leaded glass headers. The upper façade has open porch with wooden balustrade, an oriel in the north bay and an entrance in the south bay. A side entrance is located on the north elevation. A brick chimney is located on rear north slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 229 Fox Street is significant as a good representative example of a two-and-one-half story, late nineteenth century workers' cottage with Craftsman details. The house was enlarged in 1910 for Louis Slazman, and in 1914 for Robert Gerst as a two-family dwelling. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-3; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 264 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1887

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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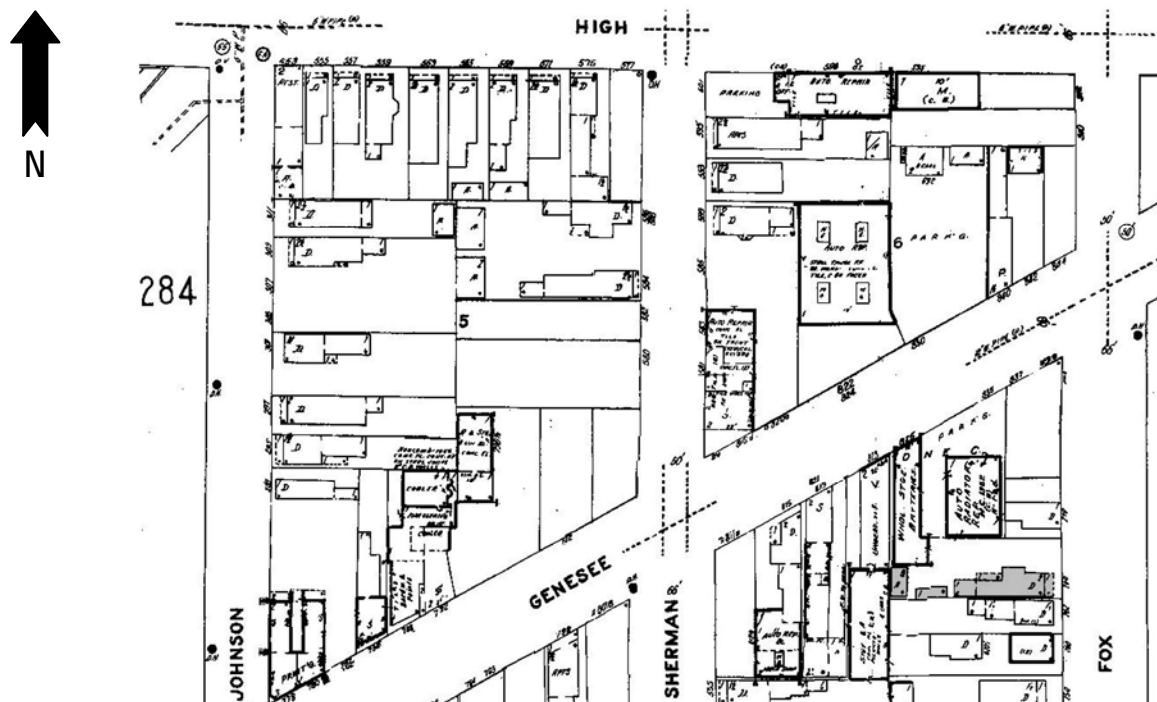
The single-family house at **264 Fox Street** is located on the west side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street.

A two-and-one-half story, front-gabled, frame, Queen Anne residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable ends. The façade has a full-width porch with delicate spindlework and turned posts. The entrance is located in the south. Fenestration is symmetrical featuring one-over-one double-hung sash. The front gable has vergeboards, a paired window grouping, stickwork, and imbricated wood shingles. Wide clapboards divide the lower and upper levels. A full-height, rectangular bay with pediment is located on the north elevation. A one-story addition with entry porch extends west from the west end of the main block, and a side entrance are located on the north. Two brick chimneys rest on the roof ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 264 Fox Street is significant as a good representative example of a Queen Anne residence in the Broadway-Fillmore neighborhood. It was built for built for Erhard Fischer. The house stands out for its porch that features delicate spindlework and turned posts. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 286



PHOTOGRAPH: (Broadway-Fillmore R-3; N-5)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 270 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1875

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

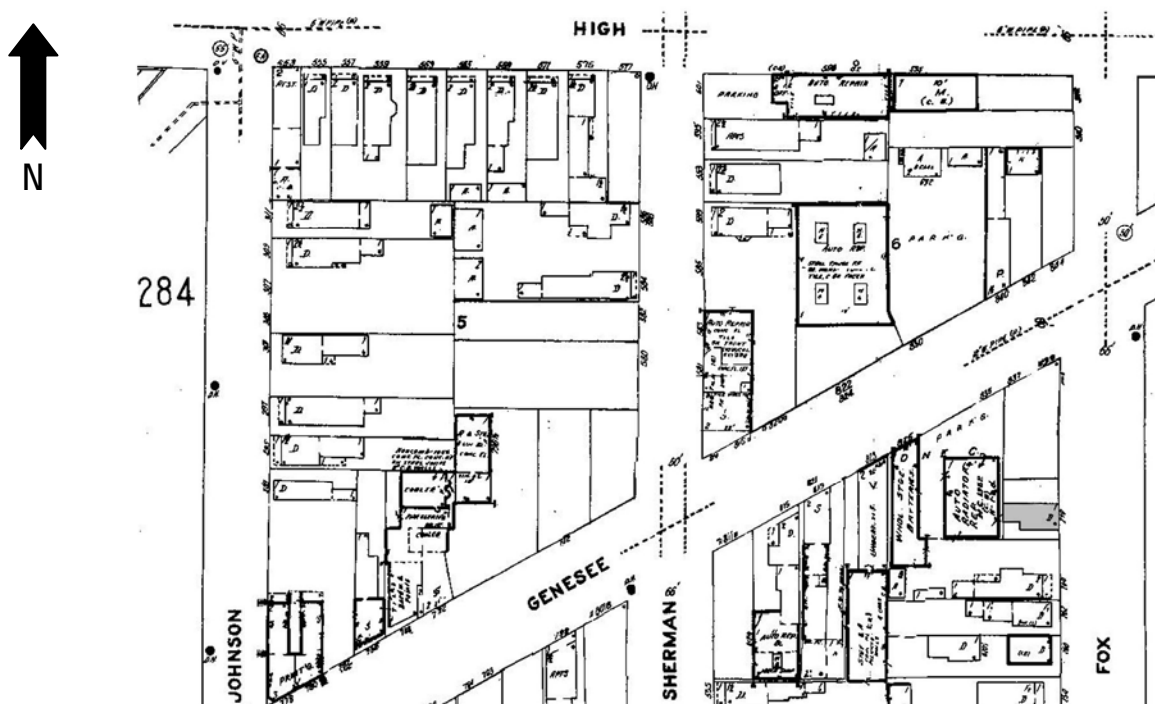
The single-family house at **270 Fox Street** is located on the west side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. A commercial building borders the property to the west, and a vacant lot is adjacent to the north.

A one-story, frame workers' cottage with a broad front-gabled roof. It has a rectangular plan and is set on piers. The three-bay-wide façade has an entry with hood in the north bay. The façade window openings have two-over-two, double-hung wood sash, and are capped by hoods. Exterior fabric is clapboard. A small round-arched window opening is located in the attic level of the façade. The south elevation has a side entrance with modern sliding doors. A brick chimney rests on the center ridge. A one-story, shed-roof addition is attached to the southwest corner of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **270 Fox Street** is significant as a good representative example of an one-story, extended workers' cottage constructed in the early residential construction period of the of the Broadway-Fillmore neighborhood. One of the earliest houses in the neighborhood, it features Greek Revival lintels and an Italianate attic window. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 286



PHOTOGRAPH: (Broadway-Fillmore R-3; N-6)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 279 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1903

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at **279 Fox Street** is located on the east side of the street, between Sycamore and Genesee streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. Commercial buildings border the property to the north.

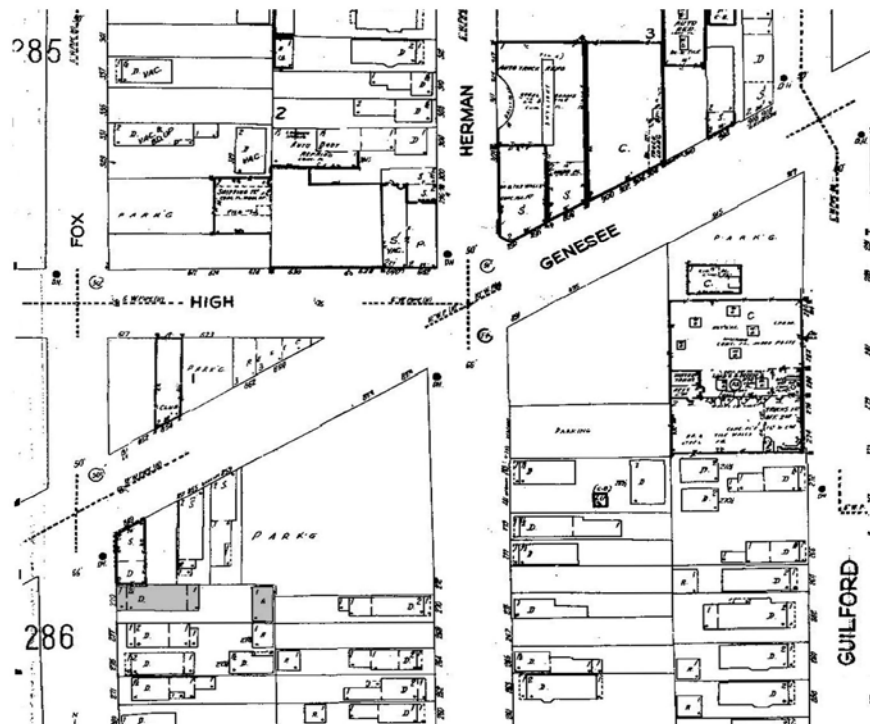
A two-and-one-half story, closed-gabled, frame, vernacular residence. It has a rectangular plan and is set on a limestone block foundation. The façade has a cutaway entry porch with square, brick, corner pier in the north bay and a partial-width living porch. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. Fenestration is symmetrical featuring one-over-one double-hung sash. The upper façade has an open porch with a metal balustrade, an entrance in the north bay, and a polygonal oriel in the south bay. A one-story, shed-roof addition extends east from the east end of the building. A brick chimney rests off-center ridge.

A detached garage stands at the rear of the lot

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 279 Fox Street is significant as a good representative example of an a two-family Craftsman residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for George Kohl. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-3; N-7)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 337 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

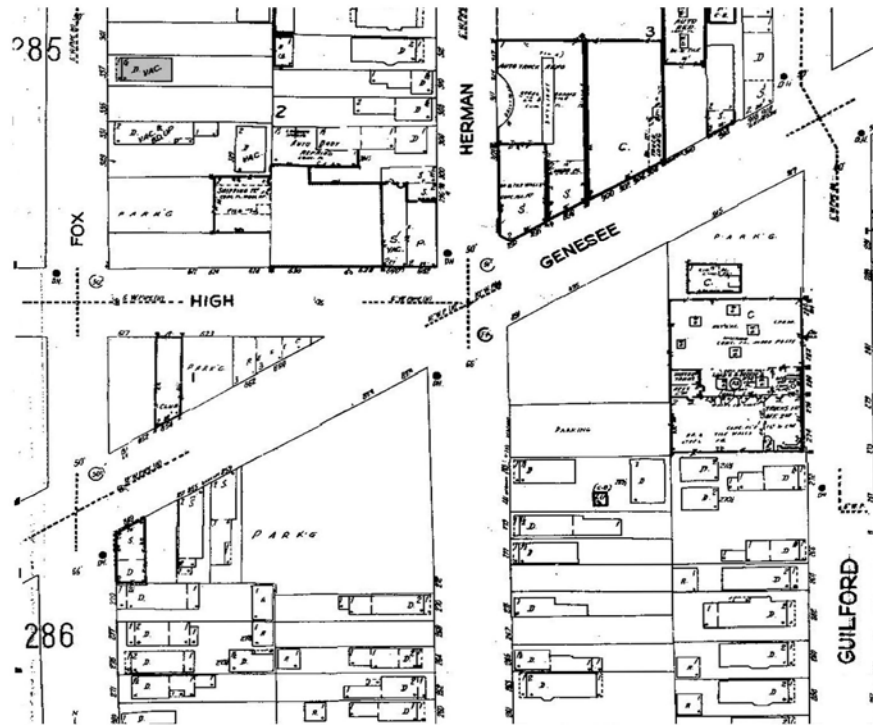
The single-family house at **337 Fox Street** is located on the east side of the street, between High and East North streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with slender columns, a solid rail sheathed with wood shingles, and a pediment over the entry. The entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end has cornice returns and wood shingles in the peak. The south elevation has a side entrance and a gabled wall dormer. Shed dormers are located on each slope. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 337 Fox Street is significant as a good representative example of a Craftsman workers' cottage. It was built as a single-family dwelling for Charles Scheider, it differs little from the workmen's cottages built over the previous three decades. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-3; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 363 Fox Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☒ excellent ☐ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

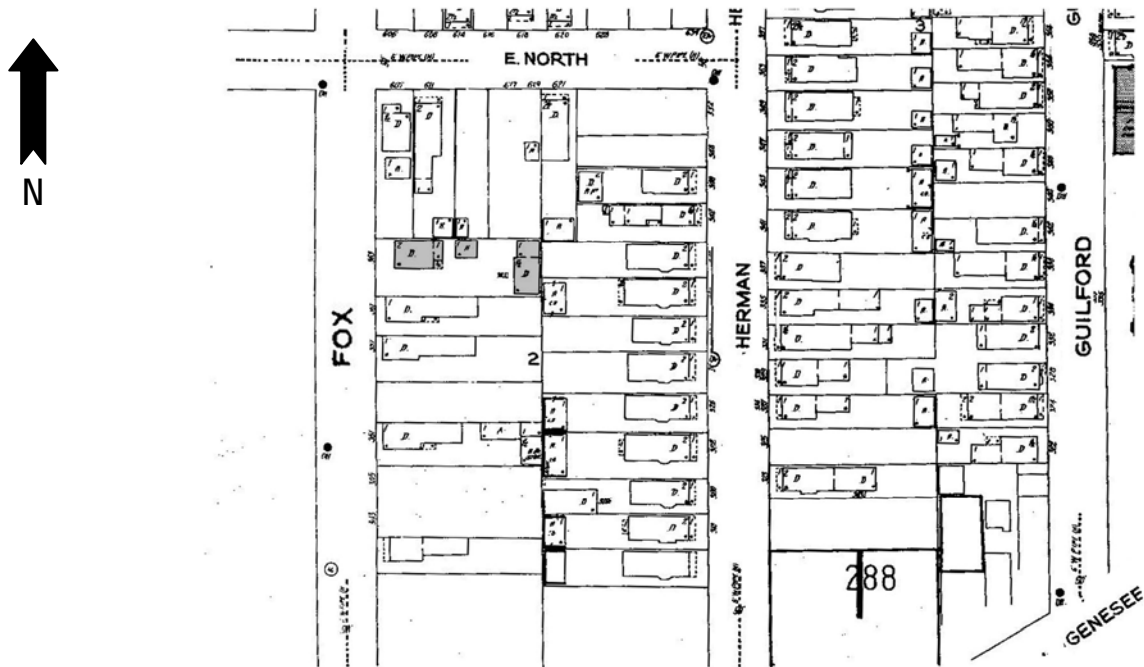
The single-family house at **363 Fox Street** is located on the east side of the street, between High and East North streets. Fox Street is a residential, north-south street in the northwestern section of the Broadway-Fillmore neighborhood. It begins at Broadway and terminates at Best Street. A vacant lot borders the property to the north.

A two-story, hipped-roof, frame Craftsman building. It has a rectangular plan and is set on a limestone block foundation. The façade has a full-width porch with a limestone block foundation, paired square columns, corner pilasters, and an open wooden rail. The entrance is located in the south bay. Fenestration is one-over-one double-hung wood sash. Exterior fabric is clapboard on the first floor and wood shingle on the upper floor. Brackets support the wide-overhanging eaves. A side entrance and an oriel are located on the south elevation. The roof has hipped-dormers with paired window groupings and two brick chimneys. A one-story addition extends east from the east end of the main block. A one-and-one-half story, side-gabled cottage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 363 Fox Street is significant as a largely-intact, excellent example of an American Four Square with Craftsman detailing. It was built for Ernest Ruthenberg. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) Liberty Bank

Address or Street Location 892 Genesee Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Vacant

Architect/Builder, if known Dietel & Wade, architects Date of construction, if known 1930

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

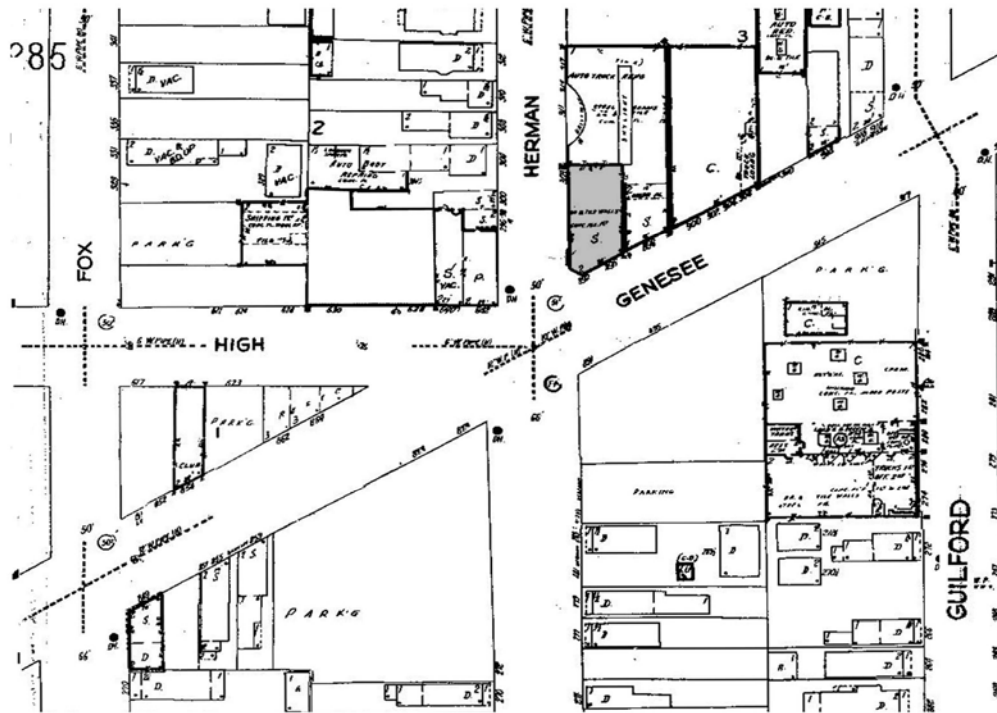
The commercial building at **892 Genesee Street** is located on the northeast corner of Genesee and Herman streets. Genesee Street is one of the original radial streets laid out by Joseph Ellicott. Along with Broadway and Sycamore Street, Genesee Street has carried traffic westward toward downtown and eastward to suburbs and farmland from the earliest days of settlement in Western New York. In 1821, the Holland Land Company designated Genesee Street as Busti Avenue, but when the road became a public highway in 1826 the name was changed to Genesee Street. Horse-drawn streetcars appeared on Genesee Street as early as 1864, on William Street in the 1870s and on Broadway in the mid-1880s. These lines opened the area, which was too far from the center of town for pedestrians to walk to work. This section of Genesee Street is primarily commercial.

A two-story, Art Deco commercial building with contrasting brick and stonework, and stone medallions of the coin designs of the period: Liberty half-dollars, Mercury dimes, and Buffalo nickels. The building has a rectangular plan and raised ashlar foundation. It is three-bays-wide by seven-bays-deep. The building has a canted entrance bay with an ornate stone surround capped by a panel with a low-relief of an eagle. The street elevations have brick piers with articulated caps that rise into the attic level and spandrels with decorative brick panels. Fenestration is symmetrical. The window openings of the first floor have been covered with insensitive materials, while the upper floor has one-over-one, double-hung wood sash.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The Liberty Bank building at 892 Genesee Street is significant as an excellent example of an Art Deco commercial building. Designed by the local firm Dietel & Wade, it was built as a branch office of Liberty Bank. This Art Deco gem of a bank features contrasting brick and stonework, and stone medallions of the coin designs of the period: Liberty half-dollars, Mercury dimes, and Buffalo nickels. It was built concurrently with Buffalo's Art Deco City Hall, by the same architects. It is now vacant.

MAP: Sanborn Map (Revised 1986) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-13; N-7)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1030 Genesee Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential/Commercial Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1880

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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### Maps

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

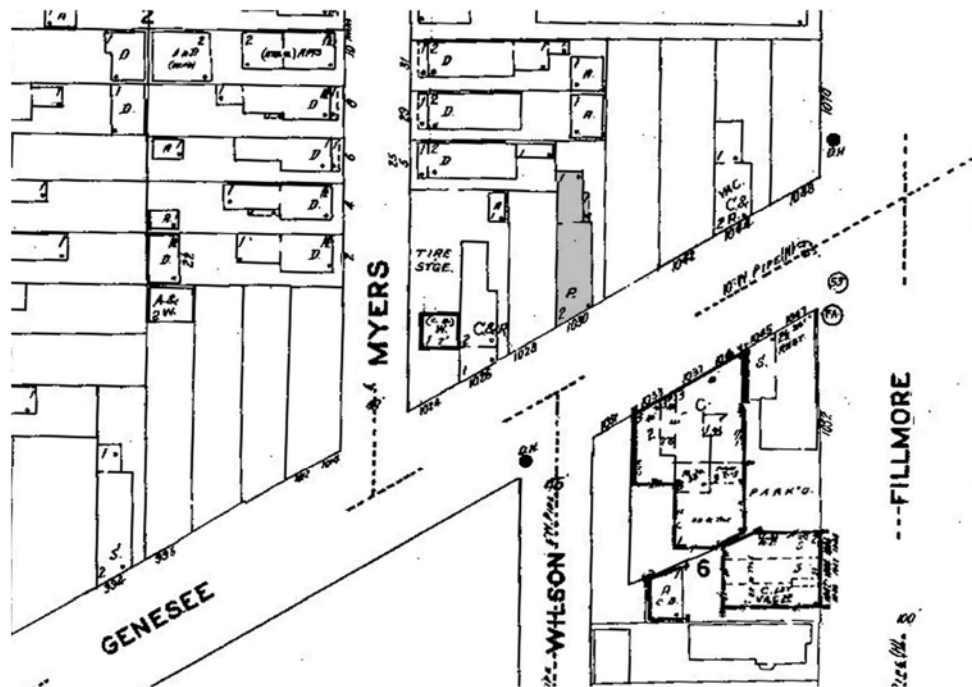
The building at **1030 Genesee Street** is located on the north side of the street, between Myers Street and Fillmore Avenue. Genesee Street is one of the original radial streets laid out by Joseph Ellicott. Along with Broadway and Sycamore Street, Genesee Street has carried traffic westward toward downtown and eastward to suburbs and farmland from the earliest days of settlement in Western New York. In 1821, the Holland Land Company designated Genesee Street as Busti Avenue, but when the road became a public highway in 1826 the name was changed to Genesee Street. Horse-drawn streetcars appeared on Genesee Street as early as 1864, on William Street in the 1870s and on Broadway in the mid-1880s. These lines opened the area, which was too far from the center of town for pedestrians to walk to work. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. This section of Genesee Street is primarily commercial. A vacant lot borders the property to the east.

A two-and-one-half-story, front-gabled building with a brick storefront. It has a rectangular plan and multiple rear additions. The building features an angled façade that aligns with the street. It has a recessed entry in the west bay with entrances to the upper floor and storefront. The storefront features narrow display windows and a tall bulkhead. The ground floor is unified by brick piers, a transom and pent roof. Fenestration is one-over-one double-hung sash. A brick chimney rests on the front, east slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1030 Genesee Street is significant as a good representative example of a late nineteenth century building with a later integrated early twentieth century storefront. This store and dwelling features an angled façade that aligns with the street. In 1902, harness maker Frederick Heintz occupied the building; in 1929, an A&P grocery occupied the store while the dentist Leo Callahan had his offices above. The present storefront was likely added during the 1930s.

MAP: Sanborn Map (Revised 1986) – Plate 289



PHOTOGRAPH: (Broadway-Fillmore R-13; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) "The Parade"

Address or Street Location 1037 Genesee Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial/Residence: multiple-family Current use Commercial/Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1900

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

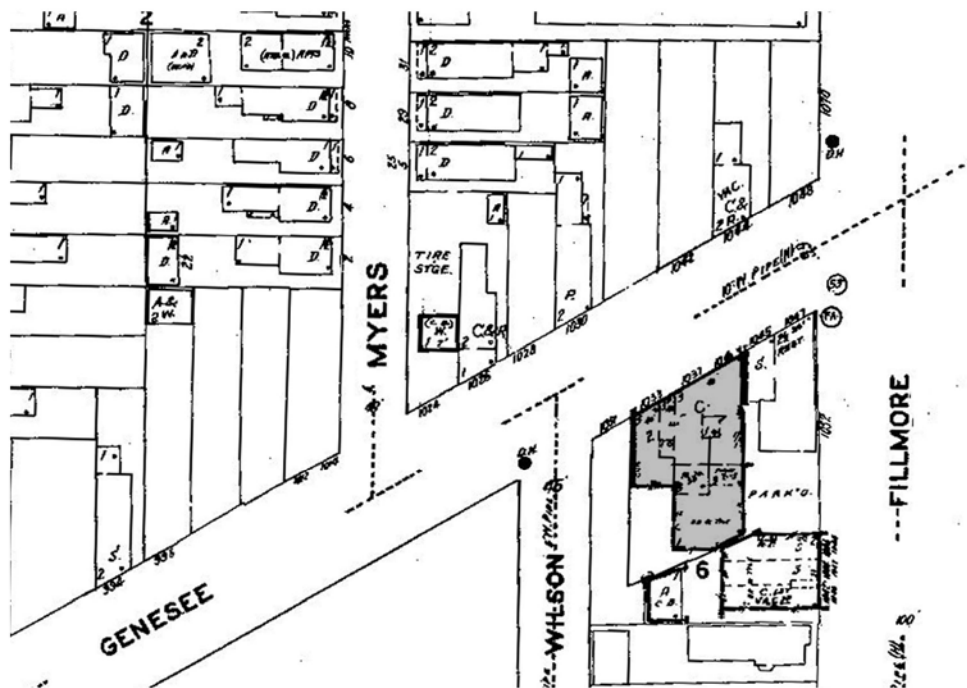
The Parade block at **1037 Genesee Street** is located on the south side of the street, between Wilson Street and Fillmore Avenue. It is located in the northwest corner of the Broadway-Fillmore neighborhood. Genesee Street is one of the original radial streets laid out by Joseph Ellicott. Along with Broadway and Sycamore Street, Genesee Street has carried traffic westward toward downtown and eastward to suburbs and farmland from the earliest days of settlement in Western New York. In 1821, the Holland Land Company designated Genesee Street as Busti Avenue, but when the road became a public highway in 1826 the name was changed to Genesee Street. Horse-drawn streetcars appeared on Genesee Street as early as 1864, on William Street in the 1870s and on Broadway in the mid-1880s. These lines opened the area, which was too far from the center of town for pedestrians to walk to work. This section of Genesee Street is primarily commercial. A vacant lot borders the property to the west.

A three-story, brick building with storefronts on the ground floor and apartments above. The first floor has two storefronts and an off-center entrance to the upper floors. The upper floor façade has symmetrical fenestration with three two-story, oriels and one-over-one double-hung wood sash single window openings. The second floor window openings have stone lintels and sills, and brick accenting. The third floor window openings have stone sill and flat, arch contrasting brick lintels and brick accenting. Decorative details of the upper façade include contrasting brick for the quoining, stringcourse and corbelling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1037 Genesee Street is significant as a good representative example of mixed commercial and apartment building constructed at the turn of the twentieth century in the Broadway-Fillmore Avenue. This brick building was named "The Parade," as carried in the cornice, after the original name of the nearby park. A notable feature is the original oriel windows, an increasingly rare element. Among the businesses here in 1902 were the printers Haarmeyer & Balduf, Union Advertising and Printing Co., and the New Jersey Aluminum Co.

MAP: Sanborn Map (Revised 1986) – Plate 289



PHOTOGRAPH: (Broadway-Fillmore R-13; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 1044 Genesee Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

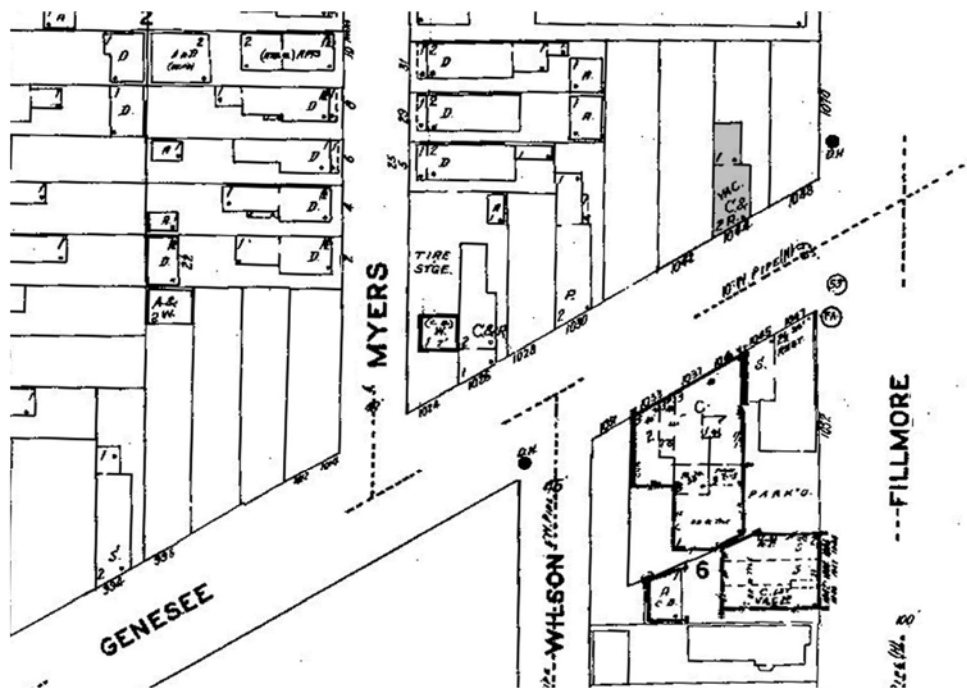
The commercial building at **1044 Genesee Street** is located near the northwest corner of Genesee Street and Fillmore Avenue. Genesee Street is one of the original radial streets laid out by Joseph Ellicott. Along with Broadway and Sycamore Street, Genesee Street has carried traffic westward toward downtown and eastward to suburbs and farmland from the earliest days of settlement in Western New York. In 1821, the Holland Land Company designated Genesee Street as Busti Avenue, but when the road became a public highway in 1826 the name was changed to Genesee Street. Horse-drawn streetcars appeared on Genesee Street as early as 1864, on William Street in the 1870s and on Broadway in the mid-1880s. These lines opened the area, which was too far from the center of town for pedestrians to walk to work. It is located in the northern end of the Broadway-Fillmore neighborhood. This stretch of Genesee Street is mixed commercial and residential. Vacant lots border the property to the east and west.

A two story, frame building with shed roof. It has a rectangular plan and is set on a stone foundation. It has a frame storefront that is currently boarded up, as are the upper façade and side elevations. The façade is capped by a wooden-cornice with Eastlake detail and brackets. The roof has two brick chimneys.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1044 Genesee Street is significant as a good representative example of an extant late nineteenth century frame commercial building on the East Side of the City of Buffalo. This frame store still features the original storefront, though boarded, and the original wood cornice. In 1902 it was occupied by Carl Wesp, gents' furnishings; in 1929, by Davies Pharmacy. It is now vacant.

MAP: Sanborn Map (Revised 1986) – Plate 289



PHOTOGRAPH: (Broadway-Fillmore R-13; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) Parade outbuilding

Address or Street Location 1119 [1127] Genesee Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Stable - Park outbuilding Current use Vacant

Architect/Builder, if known Calvert Vaux, architect (attributed to) Date of construction, if known ca. 1870

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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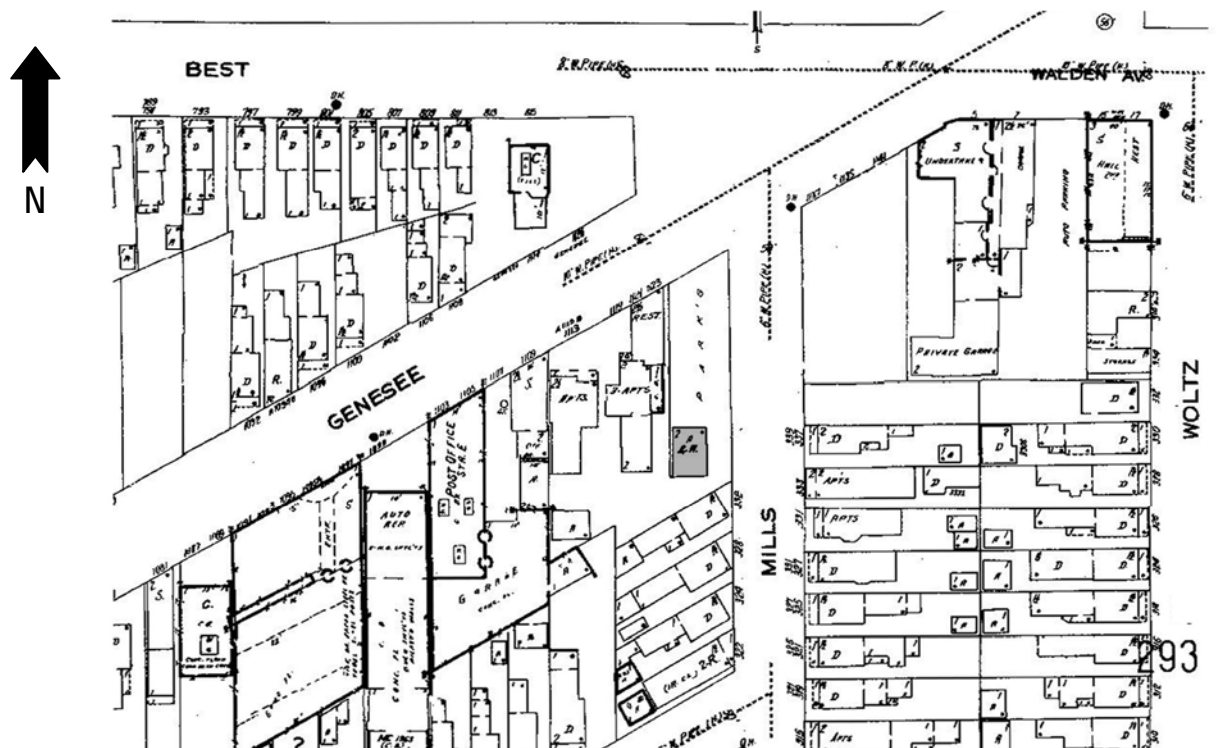
The outbuilding at **1119 Genesee Street** is located on the southwest corner of Genesee and Mills Street. It is located in the northern end of the Broadway-Fillmore neighborhood. Genesee Street is one of the original radial streets laid out by Joseph Ellicott. Along with Broadway and Sycamore Street, Genesee Street has carried traffic westward toward downtown and eastward to suburbs and farmland from the earliest days of settlement in Western New York. In 1821, the Holland Land Company designated Genesee Street as Busti Avenue, but when the road became a public highway in 1826 the name was changed to Genesee Street. Horse-drawn streetcars appeared on Genesee Street as early as 1864, on William Street in the 1870s and on Broadway in the mid-1880s. These lines opened the area, which was too far from the center of town for pedestrians to walk to work. This stretch of Genesee Street is mixed commercial and residential. The building is set back at the end of the lot and fronts Mill Street. A gravel parking area comprises the remainder of the lot to the north.

A one-and-one-half -story, frame, hipped-roof stable with half-timbered construction and chamfered beams. It has a rectangular plan and is set on a poured concrete foundation. The east elevation has a wagon entry door (currently boarded), and gabled wall dormer with hay door. The gable features half-timbering and brackets. A brick chimney rests on the north slope. Exterior wall fabrics are clapboard and vertical board.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 1119 Genesee Street is significant as a possible surviving example of one of Calvert Vaux's park outbuildings. This stable, which fronts on Mills St., apparently was moved here from Humboldt (now Martin Luther King) Park around 1896, when the park was redesigned; it now sits on a concrete foundation. Local historian Martin Wachadlo believes this building may be a remnant structure that may have been designed by Calvert Vaux in conjunction with The Parade House. It is a wooden barn that in its proportions, materials, and design, which features external chamfered bracing, resembles the sort of "Stick Style" structures that Vaux planned for public parks. Wachadlo speculates that the building might have formed a section of a long carriage house that appears on early park maps adjacent to the Parade House. When the Parade House was demolished in the early twentieth century, it is possible that this ancillary structure was sold and moved to its present site from the nearby park.

MAP: Sanborn Map (Revised 1986) – Plate 291



PHOTOGRAPH: (Broadway-Fillmore R-7; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 7 Geneva Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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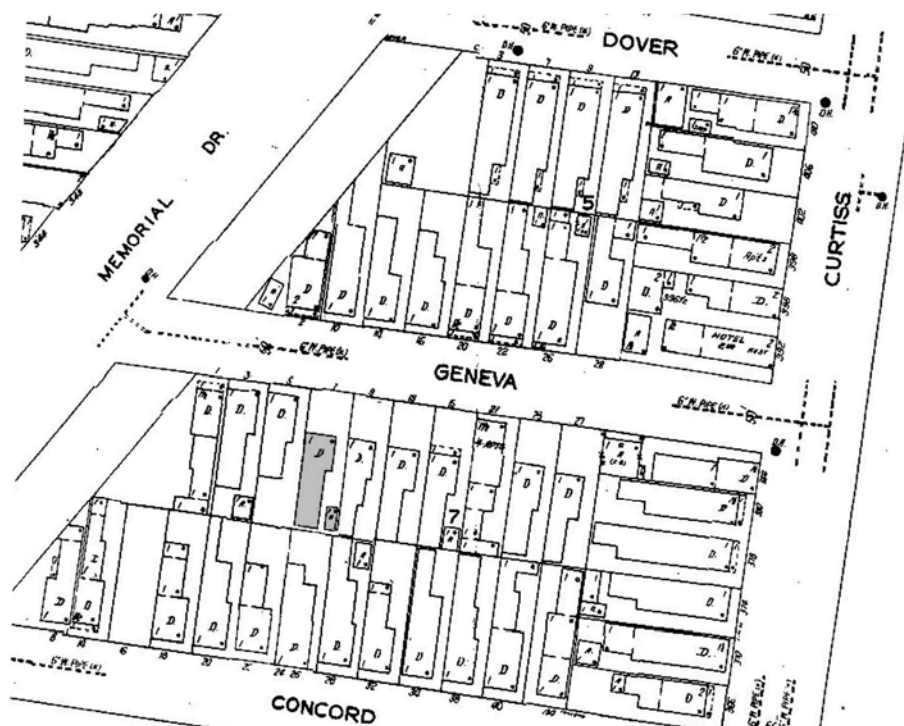
The single-family house at **7 Geneva Street** is located on the south side of the street. Geneva Street is a one-block long, east-west, residential street extending from Memorial Drive to Curtiss Street. The former New York Central Terminal is located three blocks to the south. A vacant lot borders the property to the west.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has an enclosed, full-width porch with Craftsman-details. The porch entrance is located on the east elevation. The main entrance is in the west bay. Exterior wall fabric is clapboard. Fenestration is four-over-four- and two-over-two, double-hung wood sash and casement. The east elevation has a side entrance. A single-bay, flat roof garage is attached to the east elevation of the rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 7 Geneva Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-15; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 21 Geneva Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

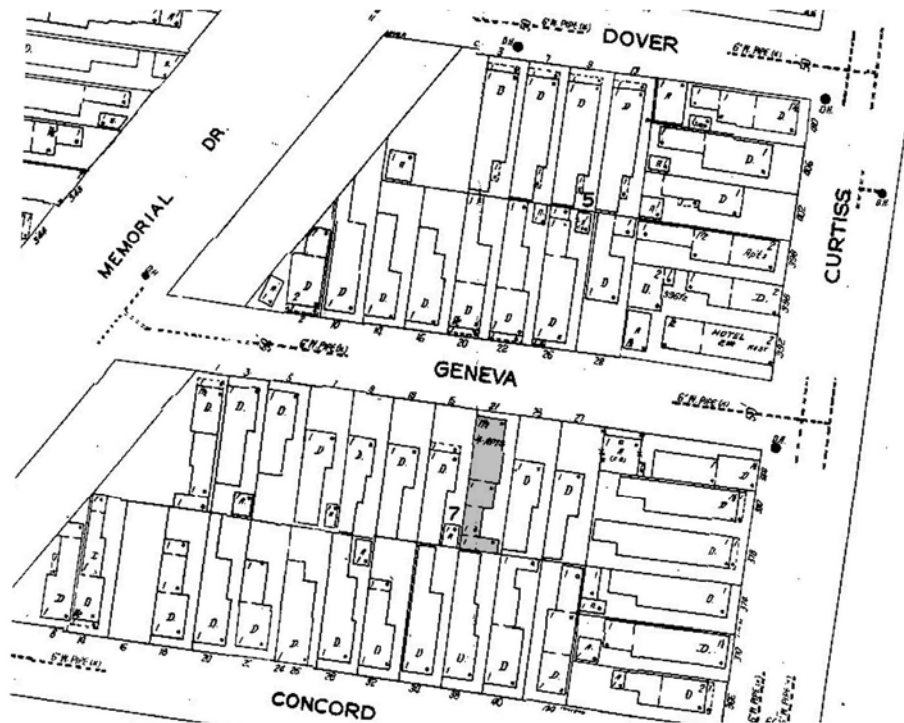
The multiple-family house at **21 Geneva Street** is located on the south side of the street. Geneva Street is a one-block long, east-west, residential street extending from Memorial Drive to Curtiss Street. The former New York Central Terminal is located three blocks to the south. A vacant lot borders the property to the west.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has an entrance in the west bay with an Eastlake hood and the window openings are capped with a similar-style hood. The façade is broken up by wide bands of wood shingle and the gable end features Eastlake saw tooth molding. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A one-story addition extends south from the south end of the main block. The east elevation has a side entrance. Two brick chimneys rest on the ridge of the main block and a brick chimney sits on the rear ridge of the addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 21 Geneva Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake detailing. The earlier rear section received a two family front addition in 1904 for Frank Dobuski. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-15; N-23)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 22 Geneva Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

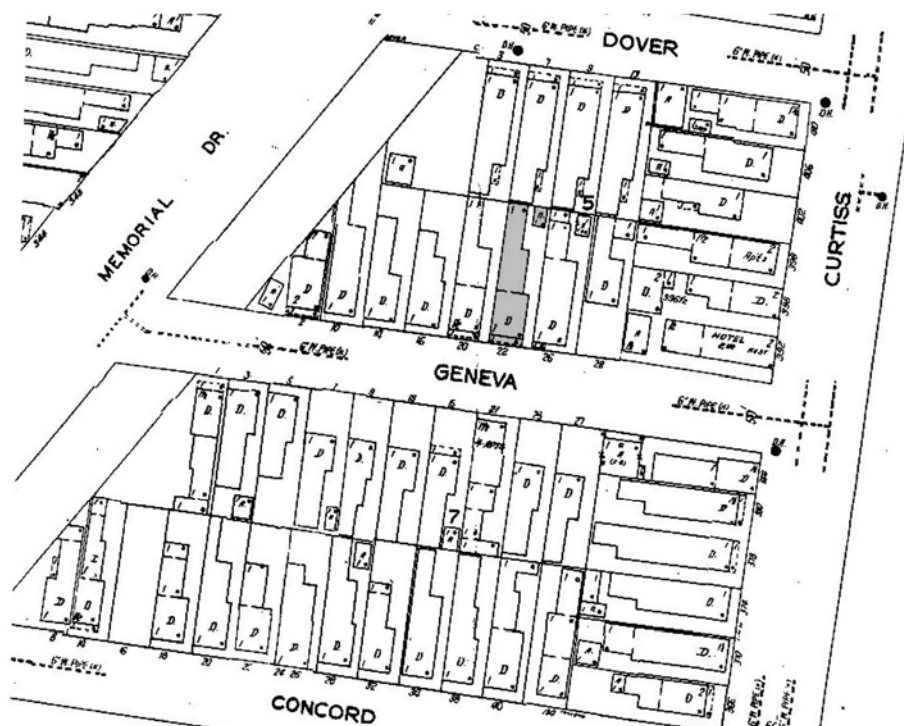
The single-family house at **22 Geneva Street** is located on the north side of the street. Geneva Street is a one-block long, east-west, residential street extending from Memorial Drive to Curtiss Street. The former New York Central Terminal is located three blocks to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has a full-width Craftsman porch with a rusticated concrete block foundation and pedestals, paneled square supports a replacement rail and hipped roof. The entrance is set in the west bay and a triple window-grouping, with leaded glass headers, is located in the east bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Other details include corner boards and a wide band of trim below the gable end eaves. A one-story addition extends north from the north end of the main block. A brick chimney rests on the ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 22 Geneva Street is significant as a good representative of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-15; N-22)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 67 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

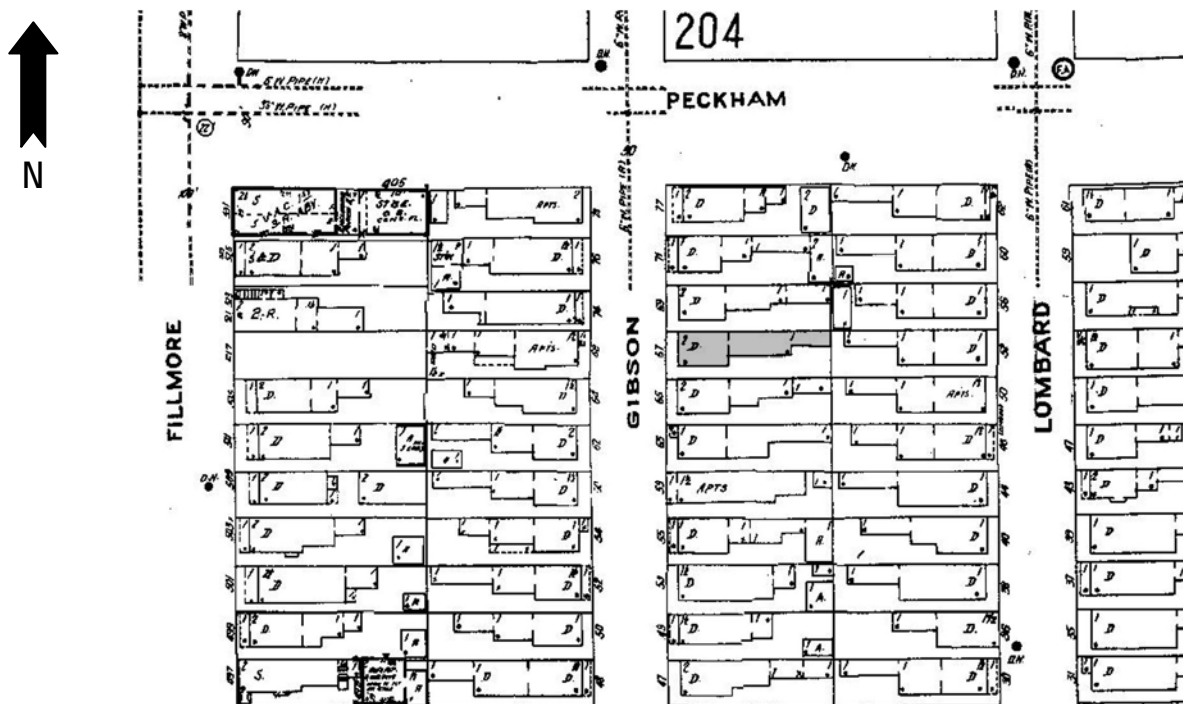
The single-family house at **67 Gibson Street** is located on the east side of the street, between Memorial Drive and Peckham Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential portion of the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located immediately to the east.

A two-story, front-gabled, frame residence with a Craftsman porch. It has a rectangular plan and no foundation. The façade has a full-width porch with a brick foundation and corner piers that are accented by contrasting brick ornamentation. It also features a paneled wooden rail and a scroll-cut frieze. The entrance with fixed  $\frac{3}{4}$  sidelights is located in the north bay. Fenestration is symmetrical with one-over-one double-hung wood sash. Exterior fabric is clapboard. The upper façade has an open porch with replacement rail and an entrance in the north bay. Other details include corner boards and a wide frieze below the gable end eaves. A one-story addition extends east from the east end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **67 Gibson Street** is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 211



PHOTOGRAPH: (Broadway-Fillmore R-10; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 98 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Addition 1933 Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

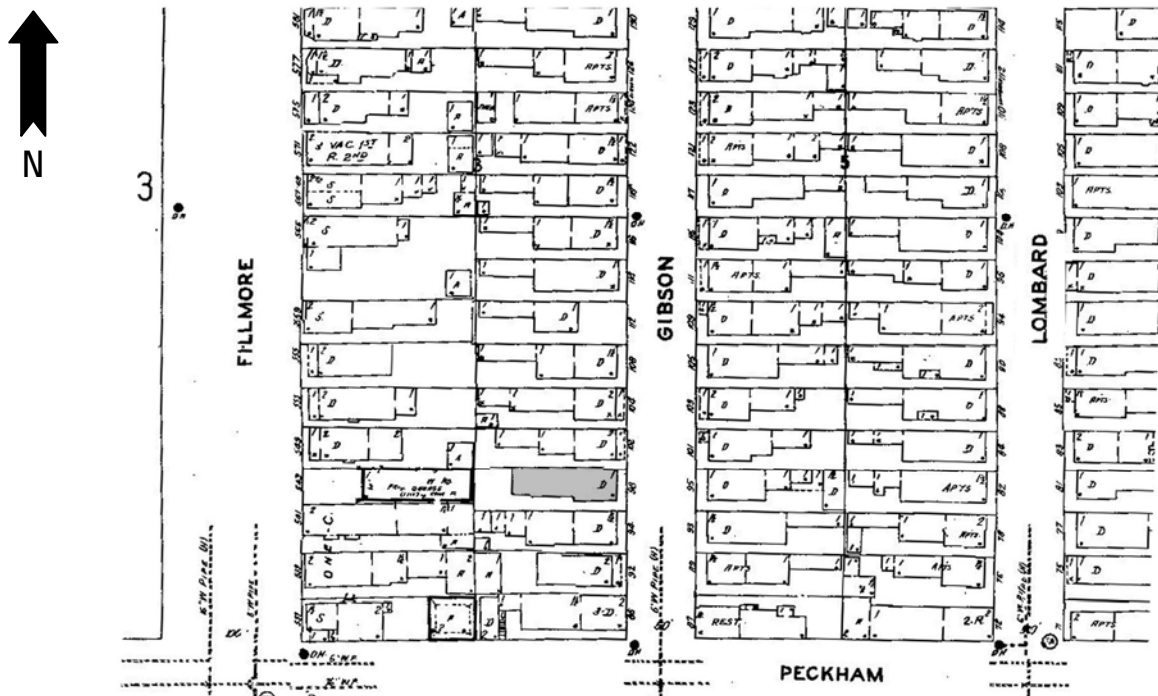
The single-family house at **98 Gibson Street** is located on the west side of the street, between Peckham Street and Paderewski Drive. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential portion of the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located immediately to the southeast.

A one-and-one-half story, front-gabled, frame extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with a rusticated concrete block and pedestals, paneled square piers and a hipped roof. The entry door with leaded,  $\frac{3}{4}$  sidelights is located in the north bay and a triple window grouping with leaded glass headers is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Two brick chimneys rest on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 98 Gibson Street is significant as good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-10; N-23)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 118 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

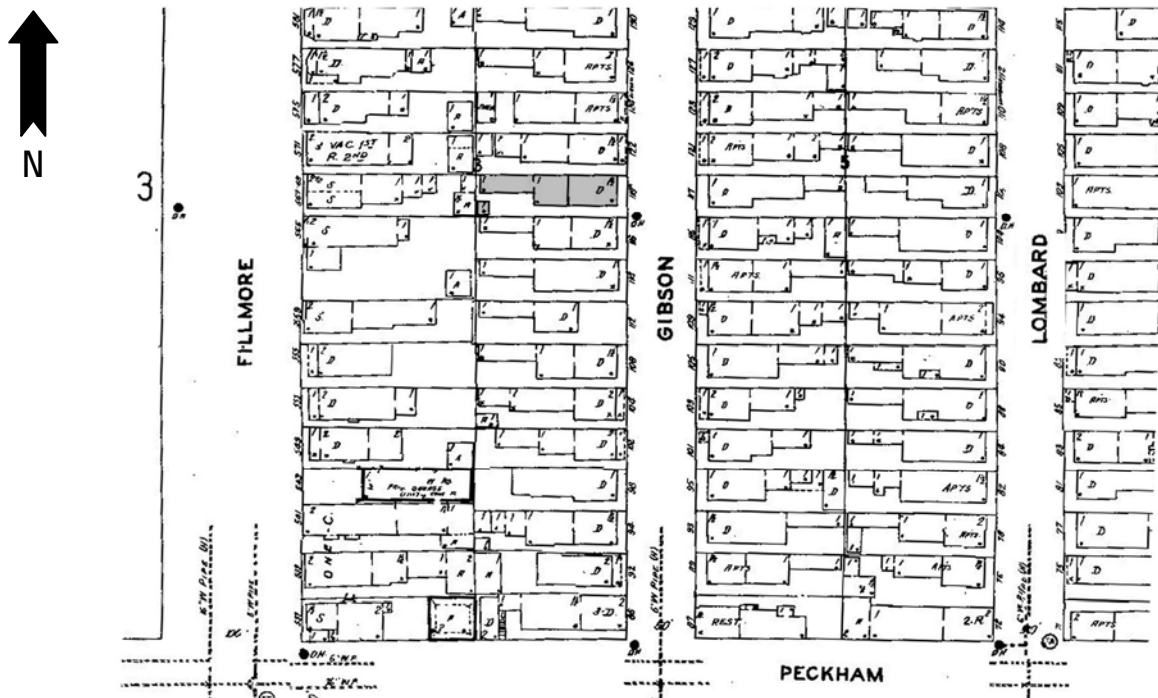
The multiple-family house at **118 Gibson Street** is located on the west side of the street, between Peckham Street and Paderewski Drive. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential portion of the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located immediately to the southeast.

A one-and-one-half story, front-gabled, frame extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entrance door with canopy and replacement stoop the north bay. The triple window grouping in the south bay of the first floor façade retain their leaded glass headers. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Eastlake molding accents the gable end. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 118 Gibson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-10; N-22)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 185 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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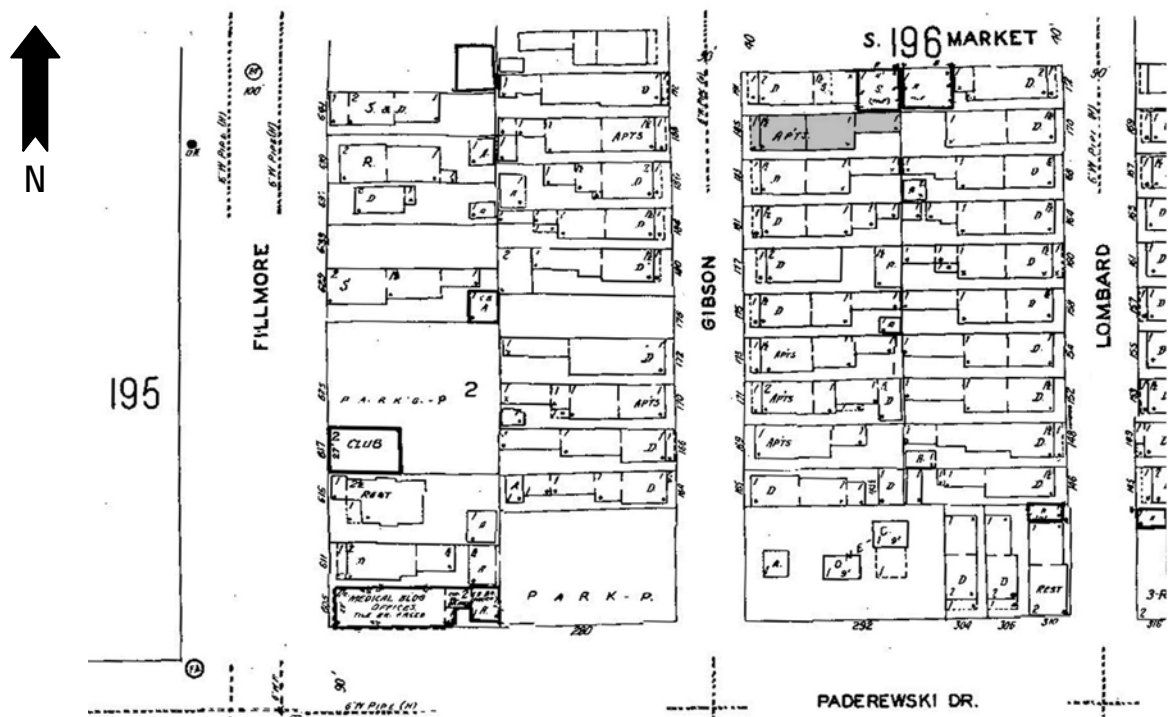
The multiple-family house at **185 Gibson Street** is located on the east side of the street, between Paderewski Drive and South Market Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential portion of the southern section of the Broadway-Fillmore neighborhood. The Broadway Market, a neighborhood landmark, stands on the next block to the north. The former New York Central Terminal complex is located a few blocks to the southeast.

A one-and-one-half story, front-gabled, frame extended workers' cottage with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with replacement supports and rail. An entrance door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is six-over-six, and one-over-one, double-hung wood sash. The gable end features cornice returns and a wood-shingled peak with pent. A one-story addition extends east from the east end of the main block. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 185 Gibson Street is significant as a good representative example of an extended workers' cottage. It was built for Rozalia Jakubczak. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-10; N-21)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 188 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Addition 1925 Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

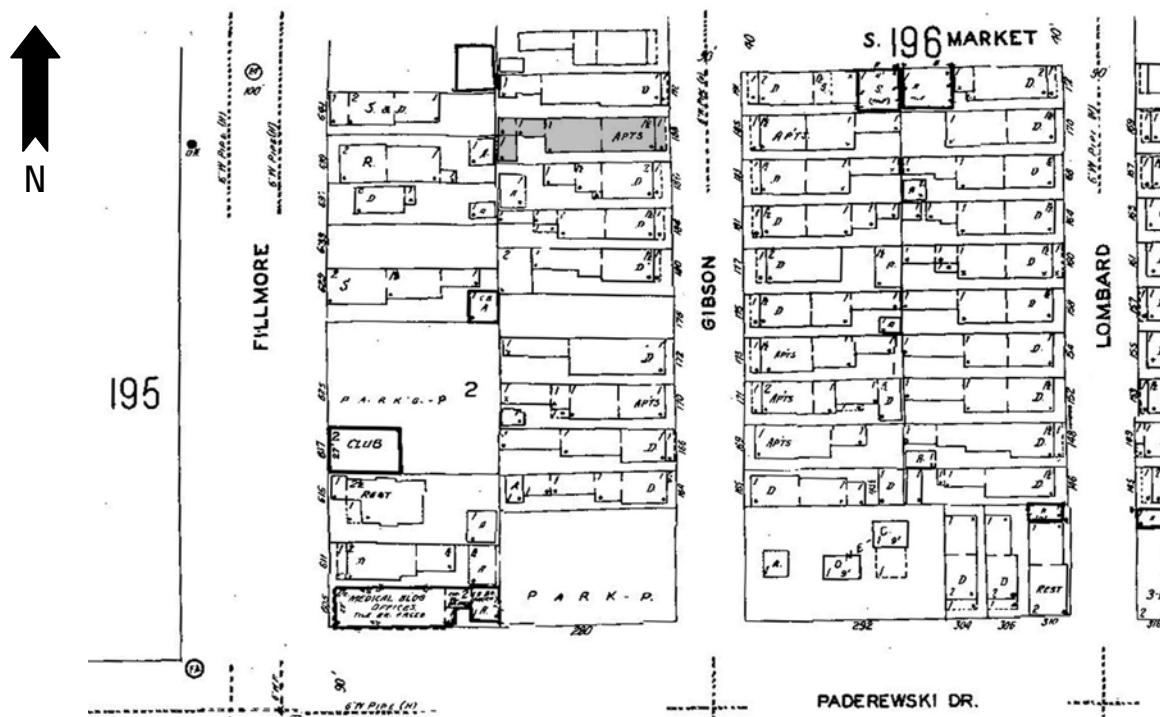
The single-family house at **188 Gibson Street** is located on the west side of the street, between Paderewski Drive and South Market Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential portion of the southern section of the Broadway-Fillmore neighborhood. The Broadway Market, a neighborhood landmark, stands on the next block to the north. The former New York Central Terminal complex is located a few blocks to the southeast.

A one-and-one-half story, front-gabled, frame extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with replacement supports and rail. Its Craftsman inspired porch roof with jerkinhead and wood shingles remains intact. An entrance door with  $\frac{3}{4}$  sidelights is located in the north bay and a triple window grouping with leaded glass headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns and a wood-shingled peak with pent. A one-story addition with entrance in the south elevation extends west from the west end of the main block. A brick chimney rests on the center ridge of the main block and two brick chimneys are set on the ridge of the rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 188 Gibson Street is significant as a good representative example of an early twentieth century extended workers' cottage with early twentieth century a Craftsman porch. It was built for Rozalia Jakubczak. The addition dates from 1925. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-10; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 214 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: porch, triple windows Date: 1937

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq. , Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

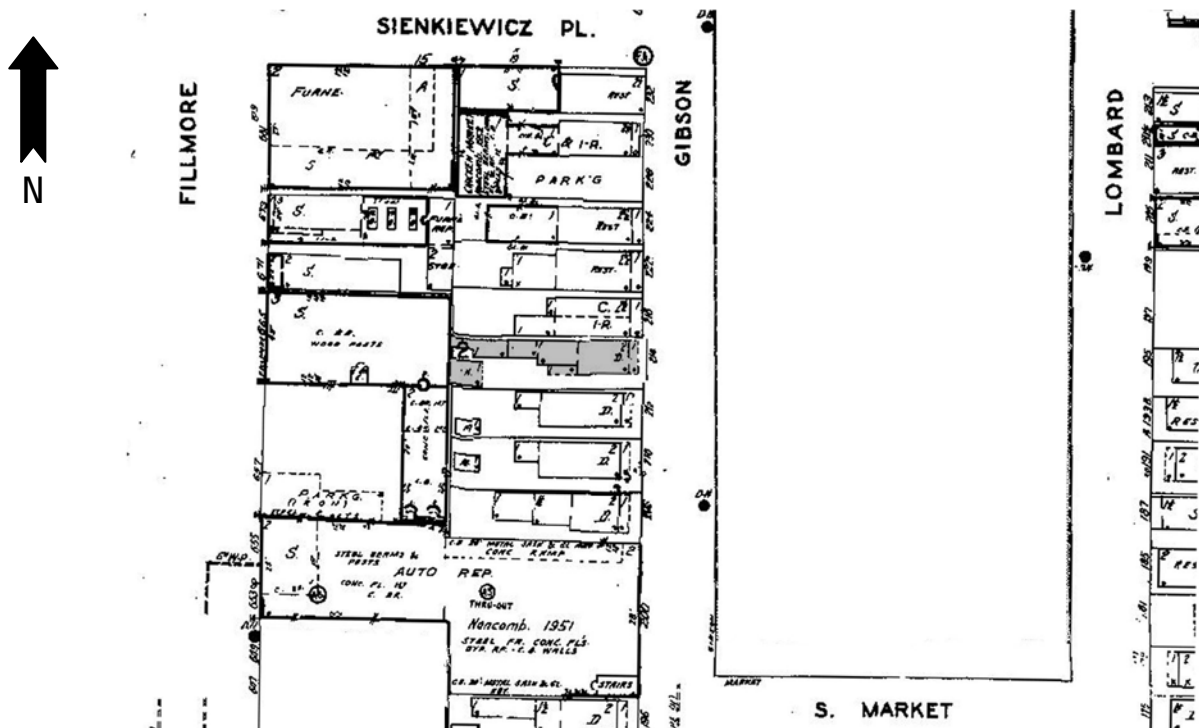
The multiple-family house at **214 Gibson Street** is located on the west side of the street, between South Market and Sienkiewicz streets. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential portion of the southern section of the Broadway-Fillmore neighborhood. The Broadway Market, a neighborhood landmark, stands on the opposite side of the street to the east. The former New York Central Terminal complex is located a few blocks to the southeast.

A two-story, front-gabled residence with Craftsman detailing and multiple, one-story rear additions. It has a full-width porch with a rusticated concrete block foundation, paneled square columns and an open wooden rail. The entrance door is located in the north bay and a triple window-grouping with leaded glass headers is set in the south bay. Fenestration is one-over-one, double-hung wood sash. Exterior fabric is clapboard. The upper façade has a open porch with replacement metal balustrade, an entrance door in the north bay and a triple window grouping with awning in the south bay. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 214 Gibson Street is significant as a good representative example of a two-story residence with a later Craftsman porch that was constructed in the early twentieth century in the Broadway-Fillmore neighborhood. The porch and present triple windows were apparently added in 1937 for John Haydak. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 196



PHOTOGRAPH: (Broadway-Fillmore R-10; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 322 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

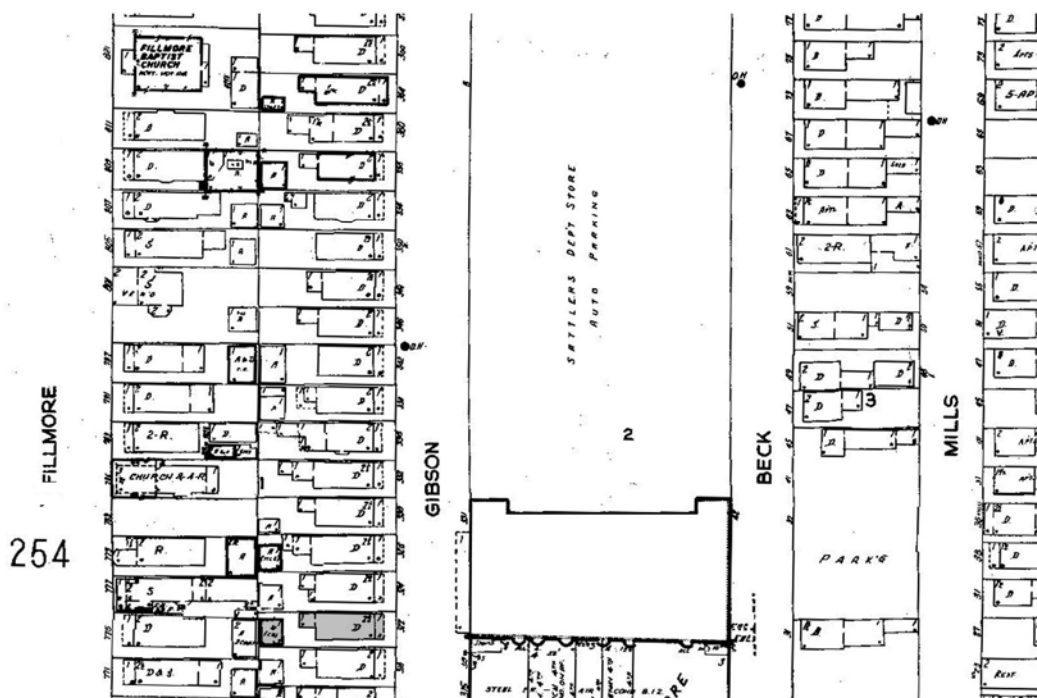
The multiple-family house at **322 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with pediment over entry and Craftsman elements such as square columns and an open wooden rail. The north bay of the façade has a paired entrance doors. Fenestration is one-over-one, double-hung wood sash. Exterior fabric is clapboard. The upper façade has a polygonal oriel in the south bay. The gable end has a paired window grouping with simple hood, and is sheathed with wood shingles. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 322 Gibson Street is significant as a good representative example of a multiple-family residence built by local developer Frank Ruskiewicz, who also built 330, 338, 346, 366 and 372 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 324 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

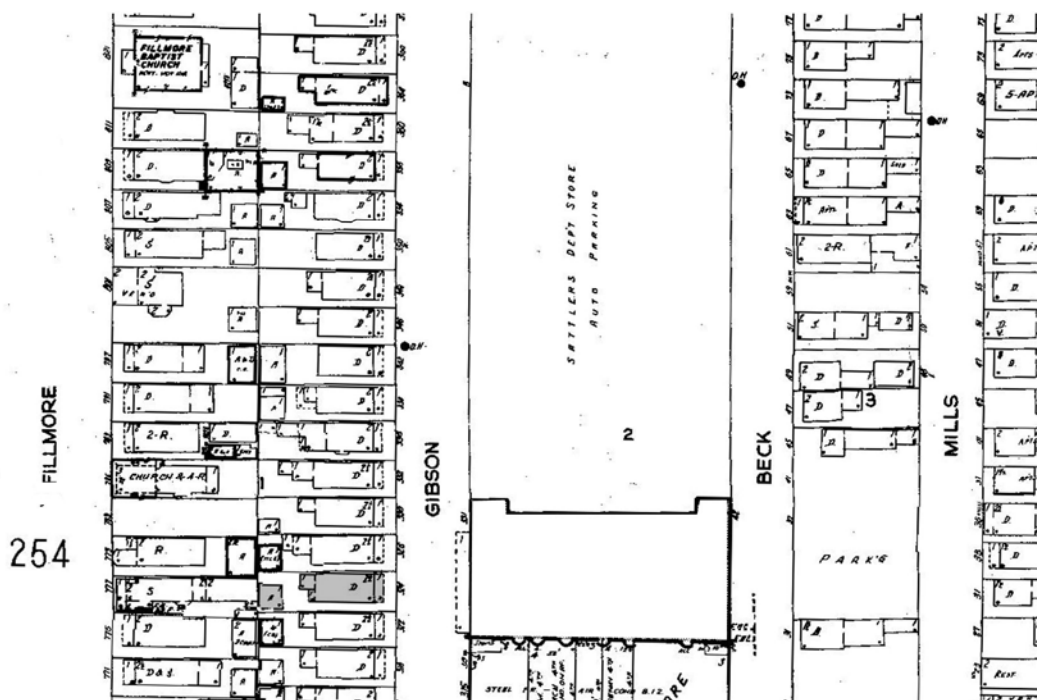
The multiple-family house at **324 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with Tuscan Doric-type columns, a replacement metal rail and over entry. The north bay of the façade has a paired entrance doors. Fenestration is one-over-one, double-hung wood sash. Exterior fabric is clapboard. The upper façade has a polygonal oriel in the south bay. The gable end has a paired window grouping with pent, and is sheathed with vinyl siding. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 324 Gibson Street is significant as a good representative example of a multiple-family residence that was more than likely built by local developer Frank Ruskiewicz, who also built 330, 338, 346, 366 and 372 Gibson St. at around the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 326 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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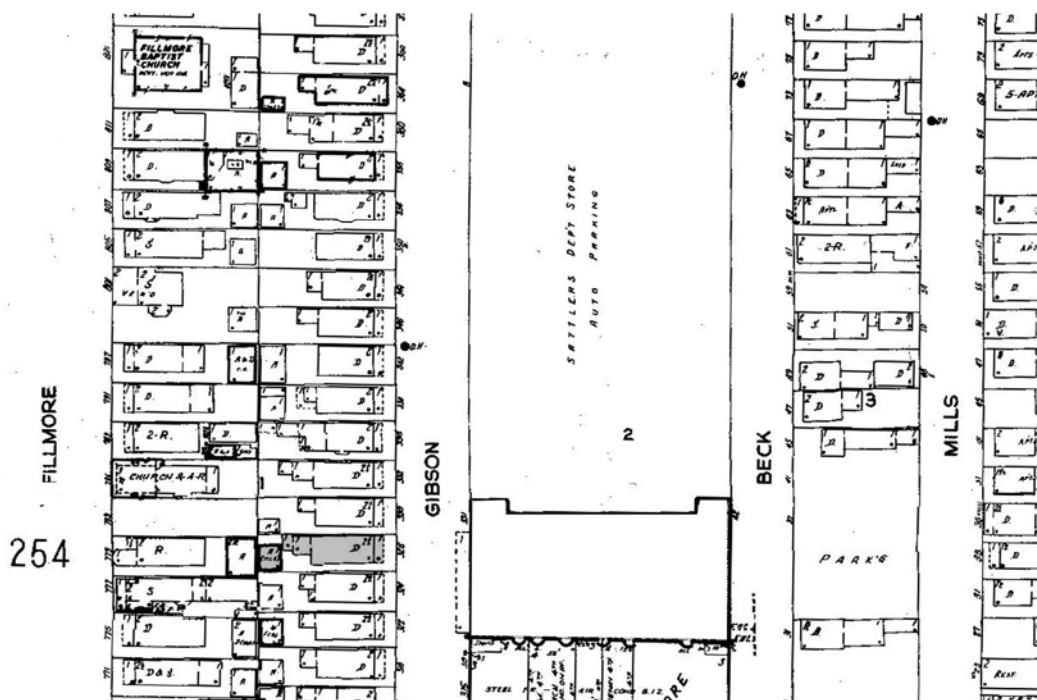
The multiple-family house at **326 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with ribbed Doric-type columns, an open bowed wooden rail, and a pediment over the entry. The north bay of the façade has an entrance door and oval-shaped window. Fenestration is one-over-one, double-hung wood sash. Exterior fabric is clapboard. The upper façade has a polygonal oriel in the south bay. The gable end has a Palladian-type window, and is sheathed with wood shingles. A brick chimney rests on the center ridge of the main block. One story additions extend west from the west end of the main block. A detached, single-bay garage is located at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 326 Gibson Street is significant as a good representative example of a multiple-family residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. The house was built for Frank Gorecki and resembles in design the houses built by local developer Frank Ruskiewicz, who constructed 322, 330, 338, 346, 366 and 372 Gibson Street at around the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 330 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

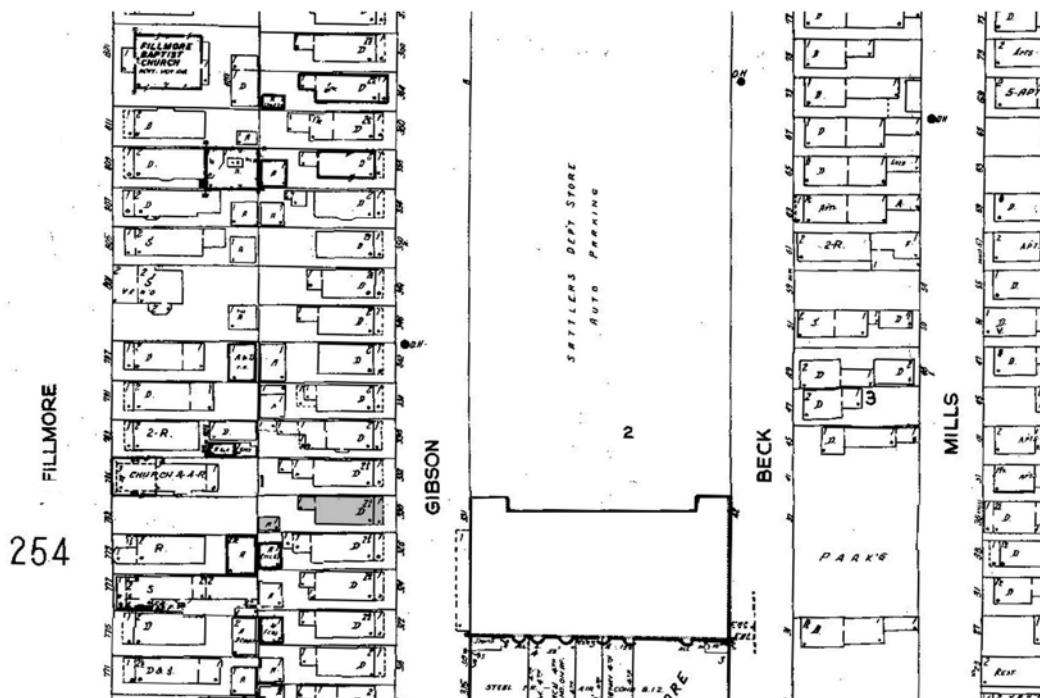
The multiple-family house at **330 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with Craftsman detailing and no foundation. It has a rectangular plan. The façade has a full-width porch with rusticated concrete block foundation and pedestals, battered square piers, an open wooden rail and a pediment over the entry bay. The entrance door, with  $\frac{3}{4}$  sidelights that have been boarded, are located in the north bay. Fenestration is one-over-one-double-hung wood sash. The window openings of the ground floor façade are boarded. Exterior fabric is clapboard. The gable peak has a pent over a small window opening. A one-story addition extends west from the west end of the main block. A detached, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 330 Gibson Street is significant as a good representative example of a multiple-family residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-15)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 336 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

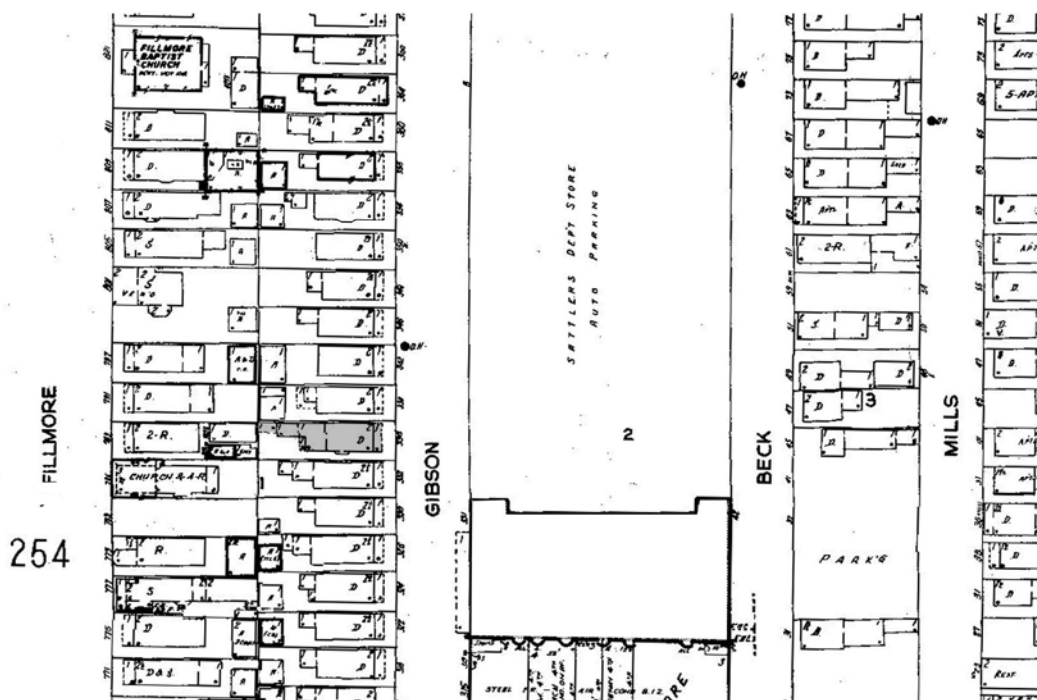
**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **336 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with Craftsman detailing and no foundation. It has a rectangular plan. The façade has a full-width porch with rusticated concrete block foundation and pedestals, battered square piers, an open wooden rail, and a pediment over the entry bay. The entrance door and an oval-shaped window are located in the north bay, and a triple window grouping with multi-pane headers is set in the south bay. Fenestration is one-over-one-double-hung wood sash. The window openings of the ground floor façade are boarded. Exterior fabric is clapboard. The gable peak has a paired window grouping with pent, and is sheathed with wood shingle. A one-story addition extends west from the west end of the main block. A detached, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 336 Gibson Street is significant as a good representative example of a multiple-family residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for Maryan Mursezewski and follows similar designs of the houses constructed by local developer Frank Ruszkiewicz, who is associated with several of the homes on the block. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-10; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 342 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

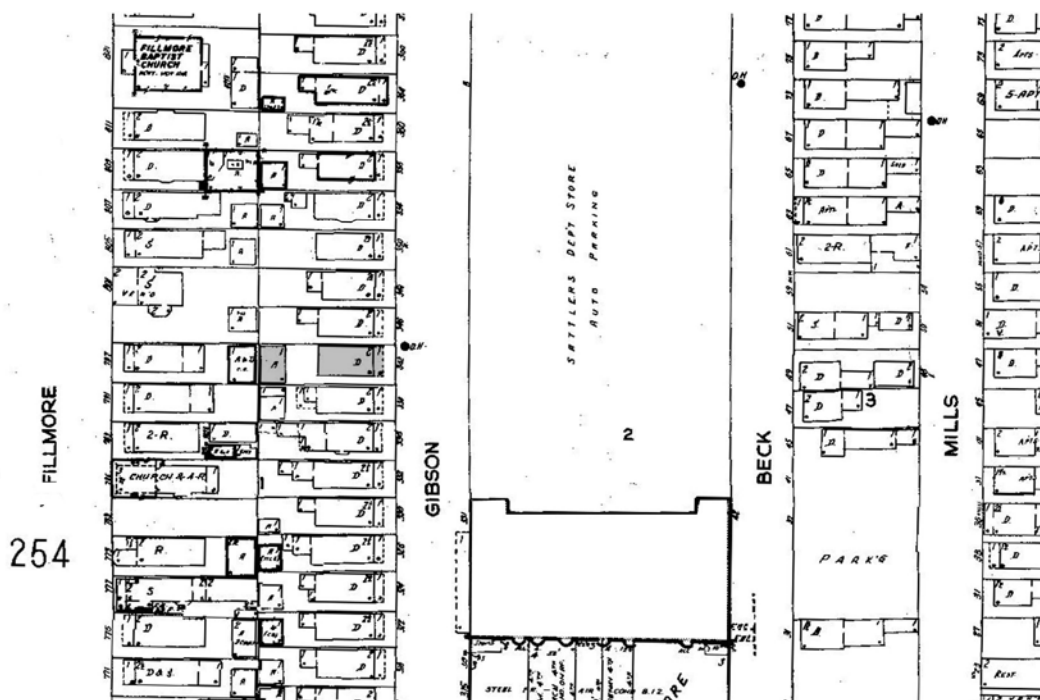
The single-family house at **342 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with Craftsman detailing and no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with square columns, open wooden rail, and pent roof. Paired entrance doors are located in the north bay. Fenestration is one-over-one-double-hung wood sash. Exterior fabric is clapboard. A polygonal oriel is located in the south bay of the upper facade. The gable peak has a paired window grouping, and is sheathed with vinyl siding. A single-bay garage stands at the rear of the lot. A brick chimney rests on the center roof ridge. A detached, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 342 Gibson Street is significant as a good representative example of a multiple-family residence built by local developer Frank Ruskiewicz, who also built 322, 330, 338, 346, 366 and 372 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-13)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 346 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

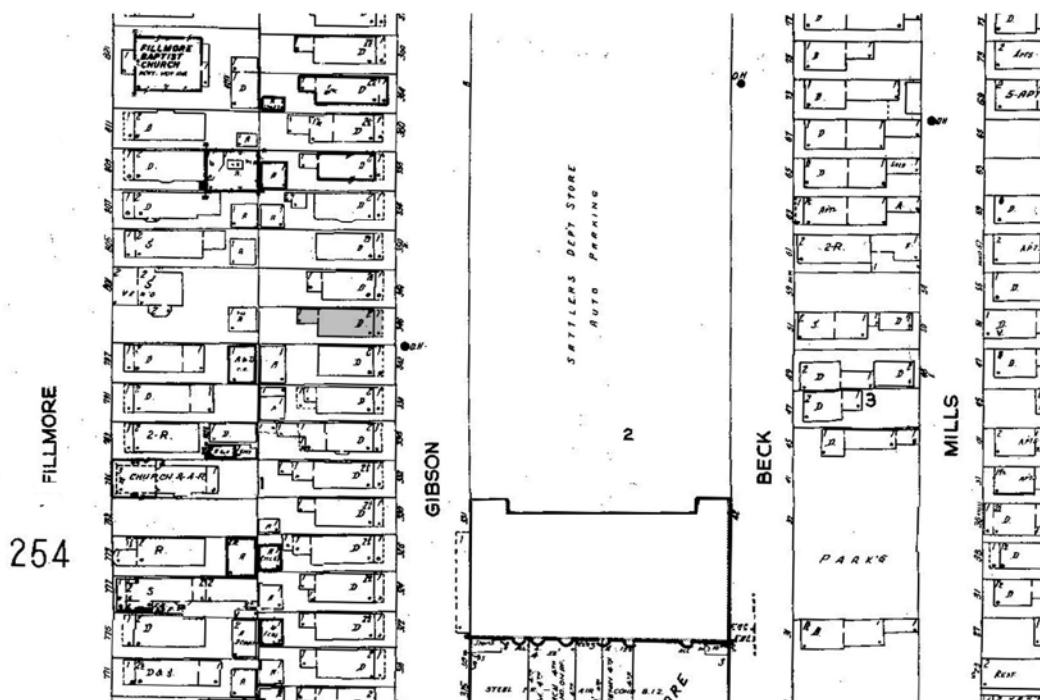
The multiple-family house at **346 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, front-gabled residence with Craftsman detailing and no foundation. It has a rectangular plan and no basement. The façade has a full-width porch with a rusticated concrete block foundation and pedestals, battered square columns and open wooden rail. Paired entrance doors are located in the north bay, and a triple window grouping with leaded glass headers. Fenestration is one-over-one-double-hung wood sash. Exterior fabric is clapboard. A polygonal oriel is located in the south bay of the upper facade. The gable peak has a paired window grouping with pent, and is sheathed with asphalt shingles. A brick chimney rests on the center roof ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 346 Gibson Street is significant as a good representative example of a multiple-family residence built by local developer Frank Ruskiewicz, who also built 322, 330, 338, 366 and 372 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 350 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

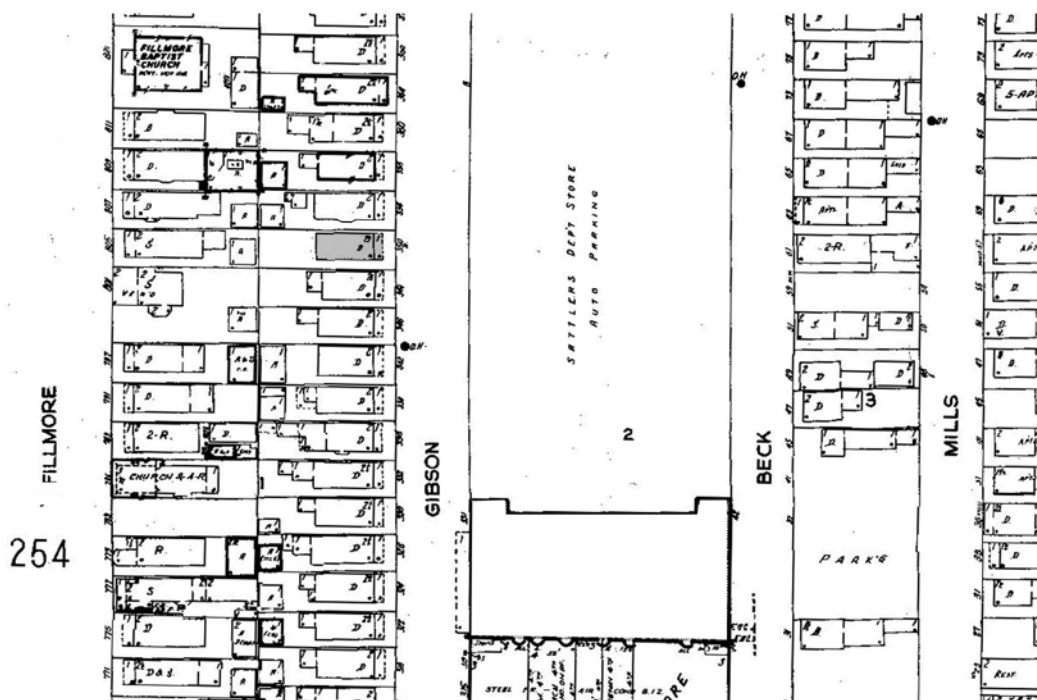
The multiple-family house at **350 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with Craftsman detailing and no foundation. It has a rectangular plan. The façade has a full-width porch with a rusticated concrete block foundation a replacement metal rail and supports, and a pediment over the entry bay. Paired entrance doors are located in the south bay, and a triple window grouping with leaded glass headers is set in the north bay. Fenestration is one-over-one-double-hung wood sash. Exterior fabric is clapboard. A polygonal oriel is located in the north bay of the upper facade. The gable peak has a paired window grouping with pent, and is sheathed with asphalt shingles.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 350 Gibson Street is significant as a good representative example of a multiple-family house constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for Juliana Bzowa and follows similar designs of the houses constructed by local developer Frank Ruszkiewicz, who is associated with several of the homes on the block. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-11)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 358 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other asphalt shingle

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

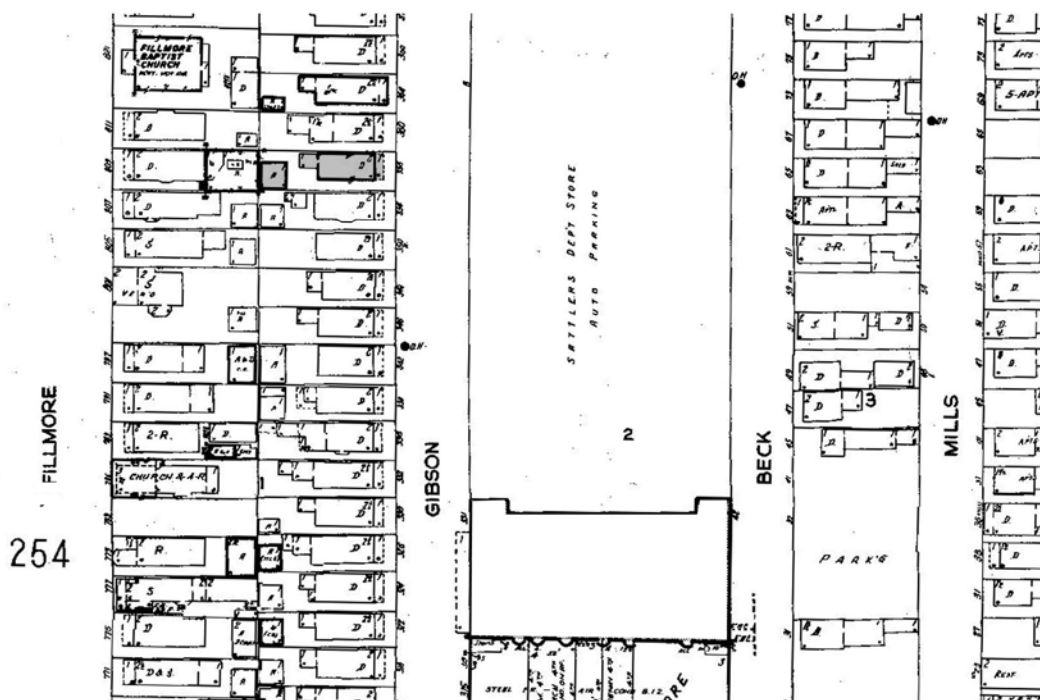
The multiple-family house at **358 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, brick residence with Craftsman detailing and no foundation. It has rectangular plan. The façade has a full-width porch with square columns, an open wooden rail and a pediment over the entry bay. The entrance door is located in the north bay. Fenestration is one-over-one-double-hung wood sash with stone lintels and sills. The upper façade has a polygonal oriel in the south bay. The gable peak has a paired window grouping with pent, and is sheathed with asphalt shingle. A one-story addition extends west from the west end of the main block. A detached, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 358 Gibson Street is significant as a good representative example of a brick, multiple-family house constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for Jan Zielonka and similar designs of the houses constructed by local developer Frank Ruszkiewicz, who is associated with several of the homes on the block. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 364 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

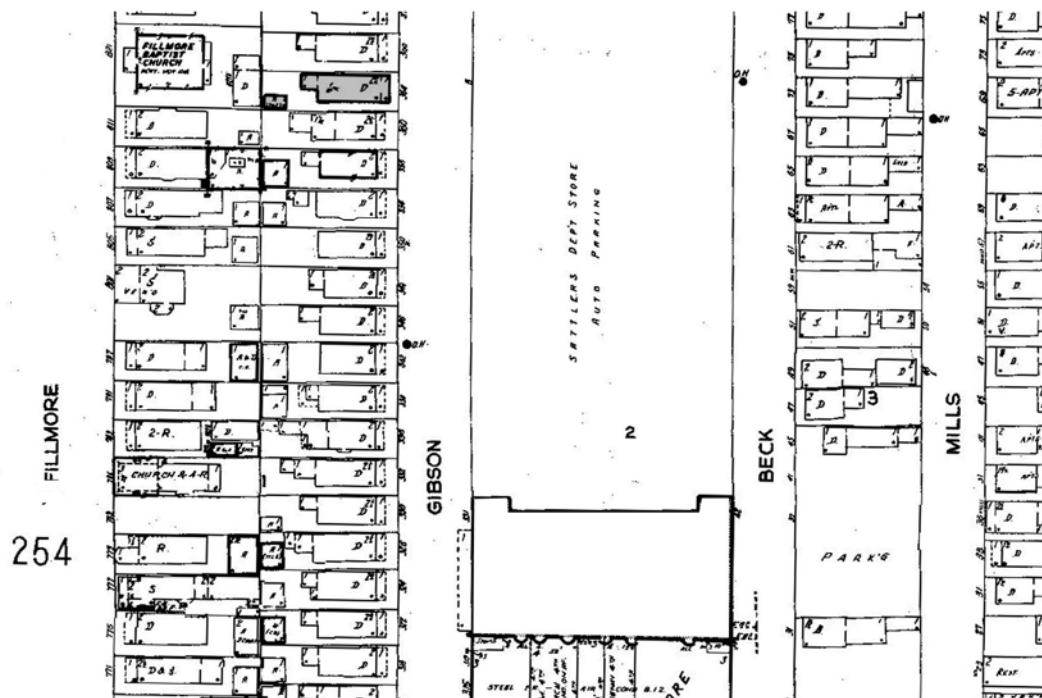
The multiple-family house at **364 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, brick residence with Craftsman detailing and no foundation. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has an enclosed full-width porch with entrance in the north bay. Porch window openings have a continuous stone sill. Fenestration is one-over-one-double-hung wood sash. The upper façade has an open porch with replacement metal balustrade, a polygonal oriel in the south bay and an entrance in the north bay. The gable peak has a Palladian-type window, and is sheathed with vinyl siding. A one-story addition extends west from the west end of the main block. A detached, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 364 Gibson Street is significant as a good representative example of a brick, multiple-family residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for Wojtek Wozniak. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-10; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 378 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

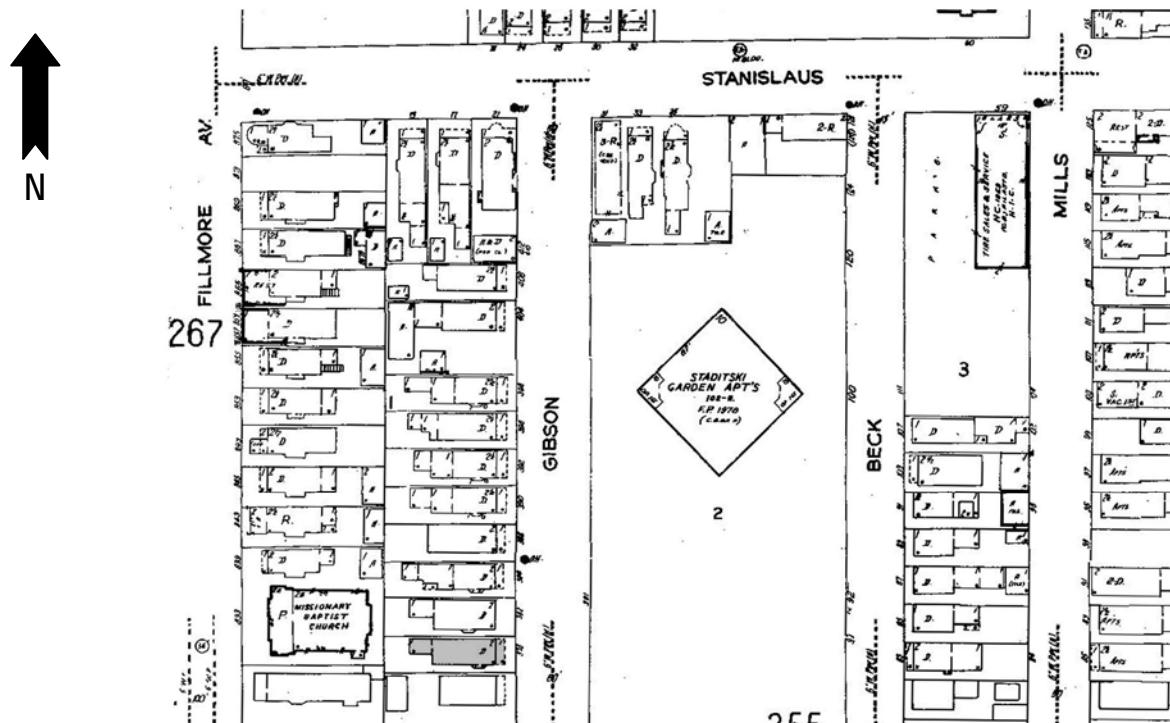
The two-family house at **378 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame residence with Craftsman detailing and no foundation. It has rectangular plan. The façade has a full-width porch with a wood-shingled foundation, Tuscan Doric-type columns, an open wooden rail and a pediment over the entry bay. Paired entrance doors are located in the north bay. Fenestration is one-over-one-double-hung wood sash. Exterior wall fabric is clapboard. The upper façade has a polygonal oriel in the south bay. The gable peak has a recessed, paired window grouping with balustrade. An oriel and a side entrance with hood with a bracketed canopy is located on the south elevation. A one-story addition extends west from the west end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 378 Gibson Street is significant as a good representative example of a multiple-family residence more than likely built for local developer Frank Ruskiewicz, who also built 322, 330, 338, 346, 366 and 372 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-10; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 388 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1915

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

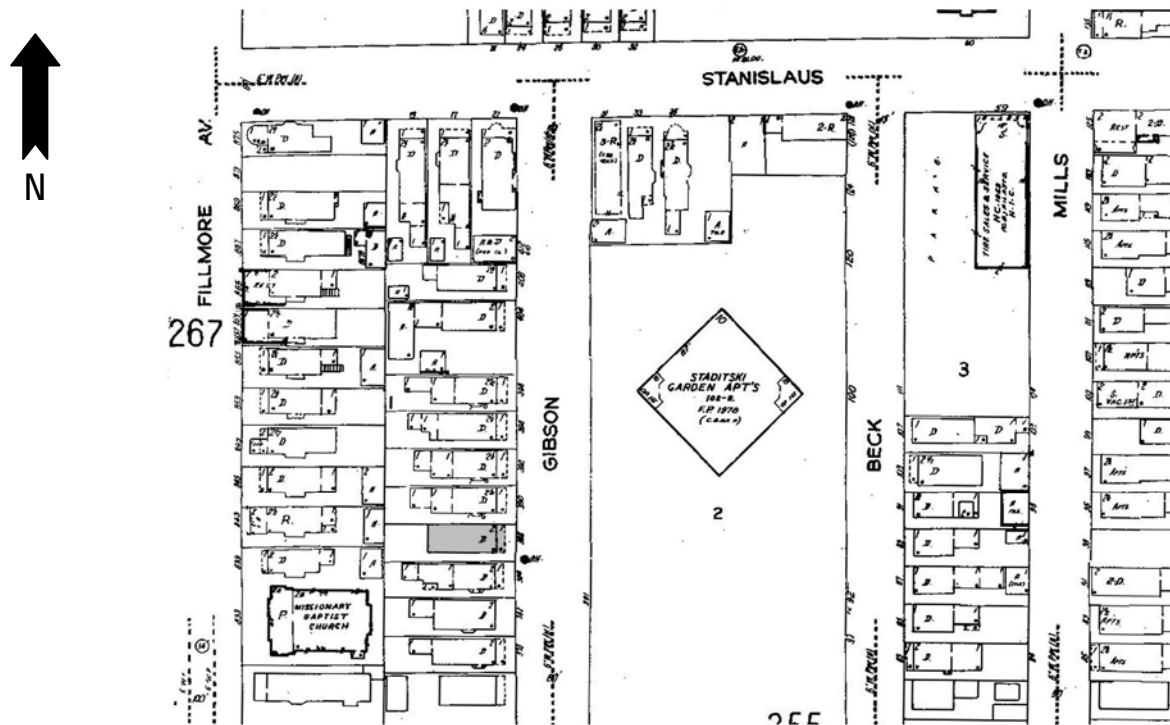
The two-family house at **388 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A two-and-one-half story, front-gabled, frame residence with Craftsman detailing. It has rectangular plan and the western section of the building is set on a limestone block foundation. The façade has a full-width porch battered square columns and a solid wooden rail. The upper and lower façade levels have entrance doors located in the north bay and a triple window grouping with leaded glass headers set in the south bay. Fenestration is one-over-one-double-hung wood sash. Exterior wall fabric is clapboard. The gable peak has vergeboards, a paired window with hood, and wood shingles. A bracketed canopy is located on the south elevation.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 388 Gibson Street is significant as a good representative example of a multiple-family house constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for August Hildebrant and follows similar designs of the houses constructed by local developer Frank Ruszkiewicz, who is associated with several of the homes on the block. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-10; N-7)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 390 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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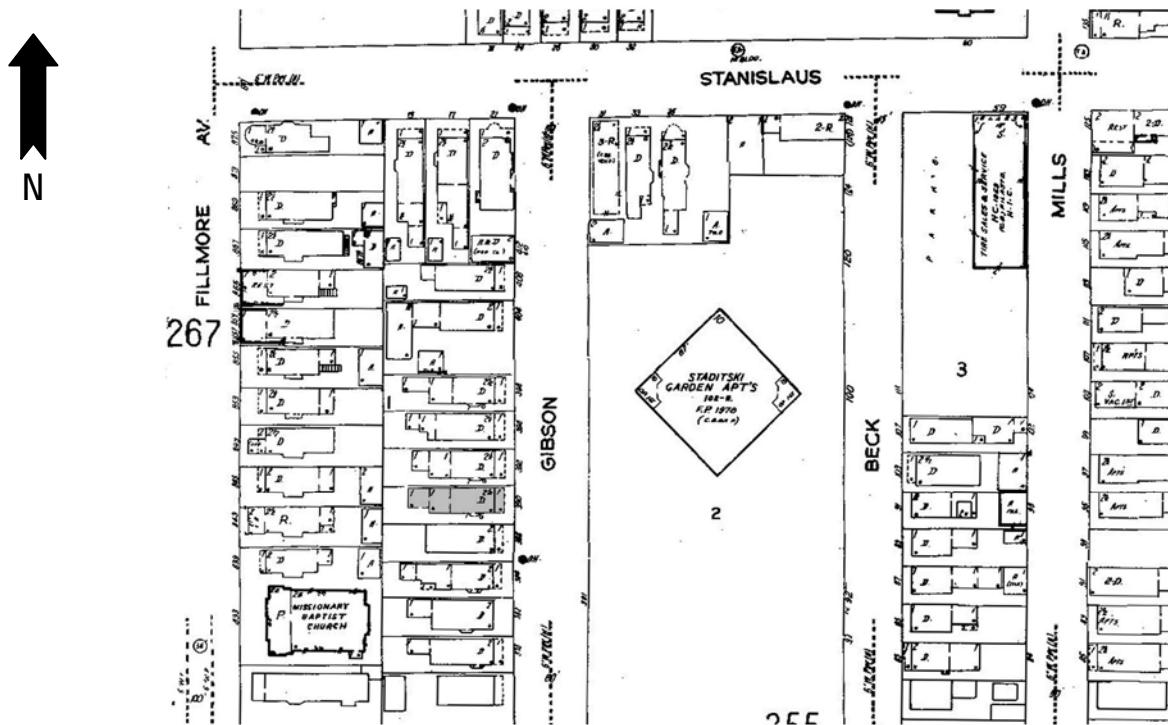
The multiple-family house at **390 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame residence with no foundation. It has rectangular plan. The façade has a full-width porch with a rusticated concrete block foundation, replacement wooden metal rail and supports. The entrance door is located in the north bay and a triple window grouping with leaded glass headers is set in the south bay. The upper façade has an open porch with a replacement metal balustrade, an oriel in the south bay and an entrance door in the north bay. Fenestration is one-over-one-double-hung wood sash. Exterior wall fabric is clapboard. Brackets accent the gable end, which features a paired window with hood, and wood shingles. A one-story addition extends west from the west end of the main block. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 390 Gibson Street is significant as a good representative example of a multiple-family house built for developer Frank Ruskiewicz, who also built 392, 396, 398, 402, 404 and 408 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-10; N-6)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 396 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

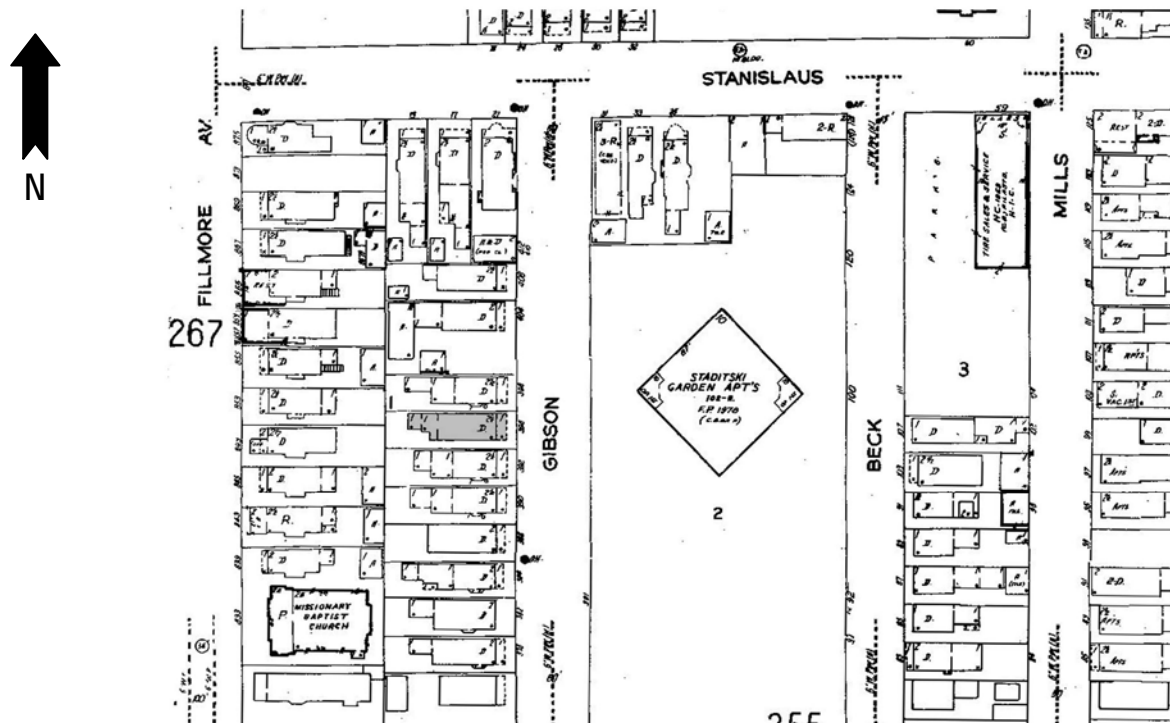
The multiple-family house at **396 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a mixed commercial and residential area of the central section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame residence with Queen Anne detailing and no foundation. It has rectangular plan. The façade has a full-width porch with square columns and an open wooden rail. The entrance and an oval window are located in the north bay and a triple window grouping, with leaded glass headers, is set in the south bay. Fenestration is one-over-one-double-hung wood sash. Exterior wall fabric is clapboard. The upper façade has an open porch with a wooden balustrade, an off-center entrance and a Queen type window with a stained glass header. Brackets accent the gable end, which has a paired window grouping and is faced with wood shingles. A one-story addition extends west from the west end of the main block. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 396 Gibson Street is significant as a good representative example of a multiple-family house built for developer Frank Ruskiewicz, who also built 390, 392, 398, 402, 404 and 408 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-10; N-5)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 398 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1918

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

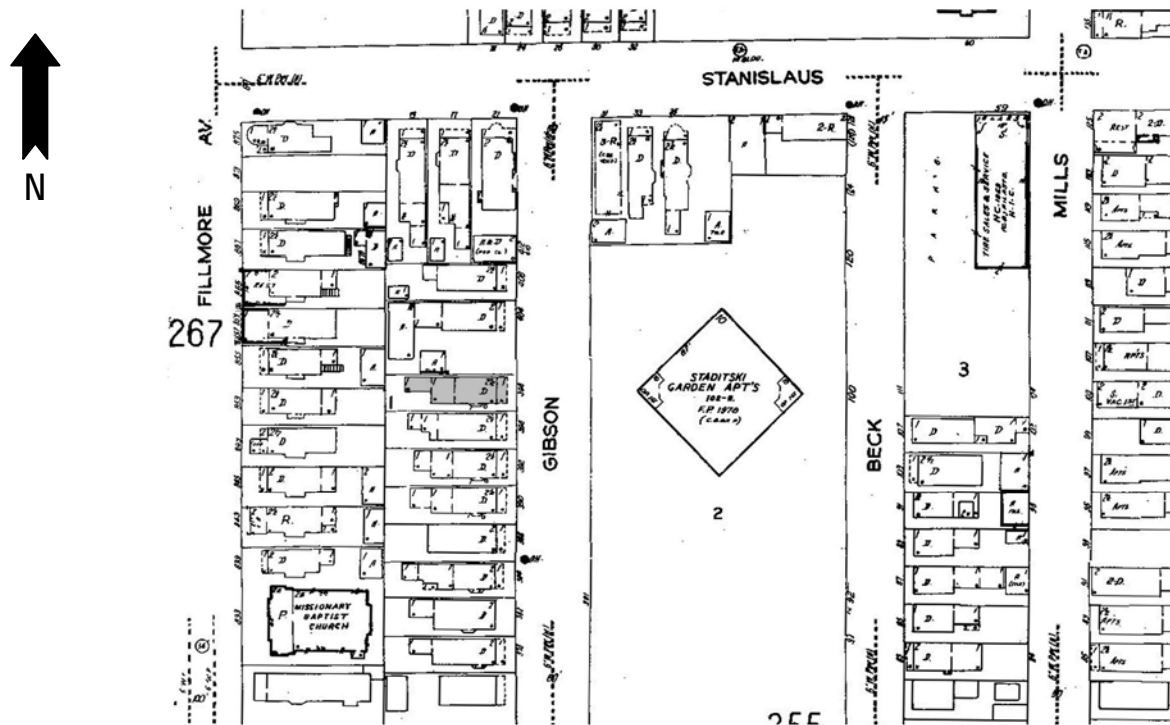
The multiple-family house at **398 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential area of the central section of the Broadway-Fillmore neighborhood. A modern apartment complex stands on the opposite lot to the east.

A two-and-one-half story, closed-gabled, frame residence with Queen Anne detailing. It has rectangular plan and is set on a limestone block foundation. The façade has a full-width porch with square columns, open wooden rail, and a pediment with wood shingles over the entry. The entrance and an oval window are located in the north bay and a triple window grouping with leaded glass headers is set in the south bay. Fenestration is one-over-one-double-hung wood sash. Exterior wall fabric is clapboard. The upper façade has a polygonal oriel. The gable end has a paired window grouping with nine-over-one double-hung wood, a pent and wood shingles above. A one-story addition extends west from the west end of the main block. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 398 Gibson Street is significant as a good representative example of a multiple-family house built for developer Frank Ruszkiewicz, who also built 390, 392, 402, 404 and 408 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-10; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 408 Gibson Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☒ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

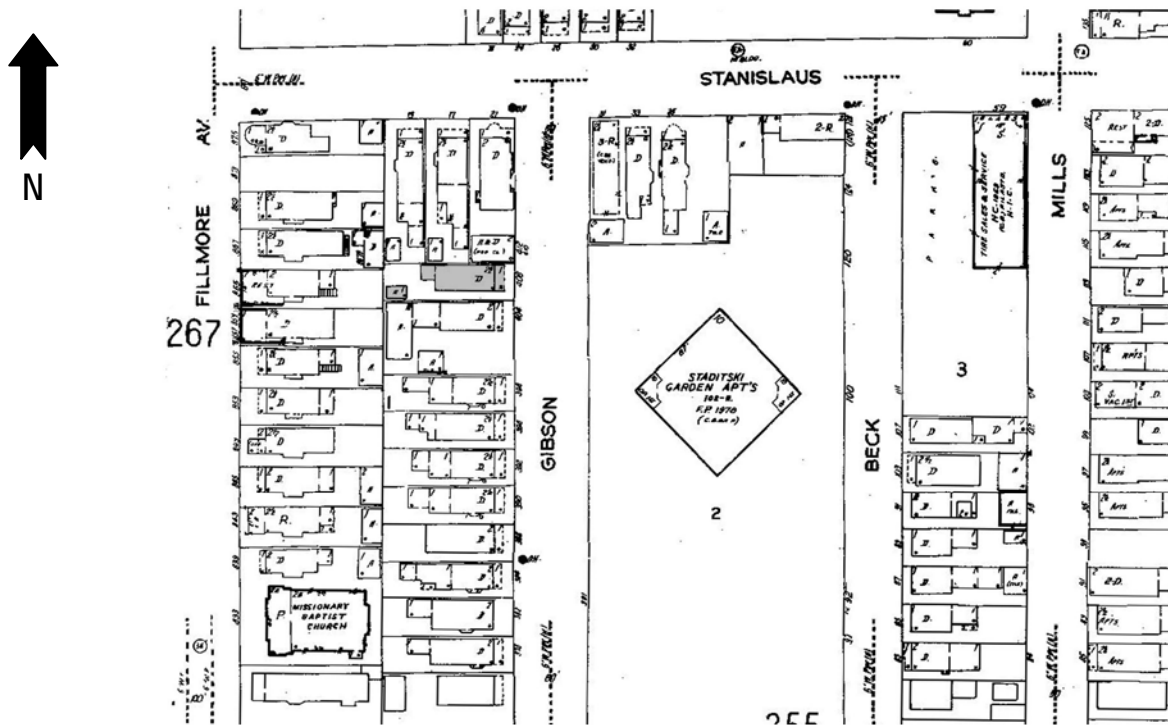
The multiple-family house at **408 Gibson Street** is located on the west side of the street, between Broadway and Stanislaus Street. Gibson Street is a five-block long, north-south street that extends from Memorial Drive to Stanislaus Street. The property is located in a residential area of the central section of the Broadway-Fillmore neighborhood. A modern apartment complex stands on the opposite lot to the east.

A two-and-one half story, closed-gabled, frame residence with Queen Anne and Colonial Revival detailing. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width porch with Ionic columns set on rusticated concrete block pedestals, an open wooden rail with curved balusters, garlands in the frieze, and a pediment with floral motif above the entry. The entrance and an oval window are located in the north bay. Fenestration is one-over-one, double-hung wood sash. Exterior wall fabric is clapboard. The upper façade has a polygonal oriel in the south bay. The gable end has a paired window grouping with a pent and wood shingles above. A one-story addition extends west from the west end of the main block. A brick chimney rests on the center ridge. A detached, single-bay garage is located at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 408 Gibson Street is significant as a good representative example of a multiple-family house built for developer Frank Ruszkiewicz, who also built 390, 392, 398, 402, and 404 Gibson St. at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-10; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 24 Grimes Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple -family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1920

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

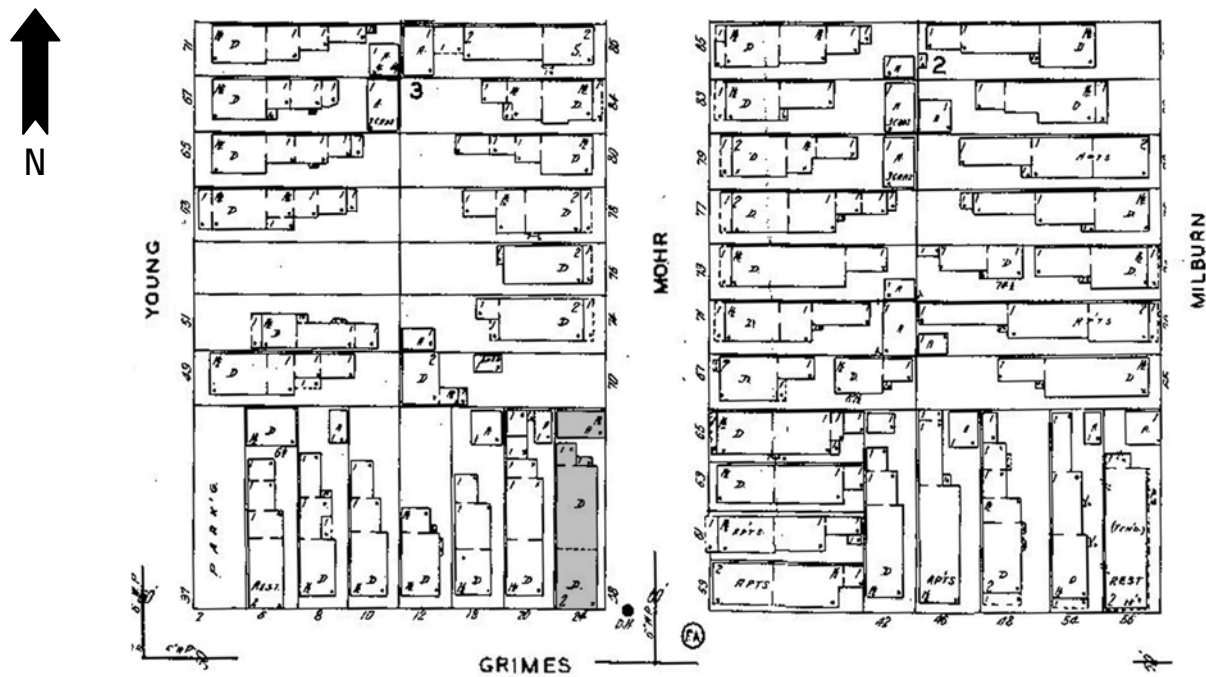
The two-family house at **24 Grimes Street** is located on the northwest corner of Grimes and Mohr streets in the southeastern section of the Broadway-Fillmore neighborhood. Grimes Street is a five-block long, east-west street between Young and Peck Streets, just north of the former New York Central Terminal property.

A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. The first floor of the south façade has an entrance in the east and it is capped by a cornice. Fenestration is one-over-one double-hung wood sash. The gable end features a paired window grouping and imbricated wood shingles. The east elevation has two side entrances. Two brick chimneys rest on the roof ridge and one rests on the front east slope. A detached, one-and-one-half-story, front-gabled, single bay garage fronts Mohr Street.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 24 Grimes Street is significant as a good representative example of a large, two-and-one-half story, extended workers' cottage constructed in ca. 1920 in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 717



PHOTOGRAPH: (Broadway-Fillmore R-14; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 46 Grimes Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

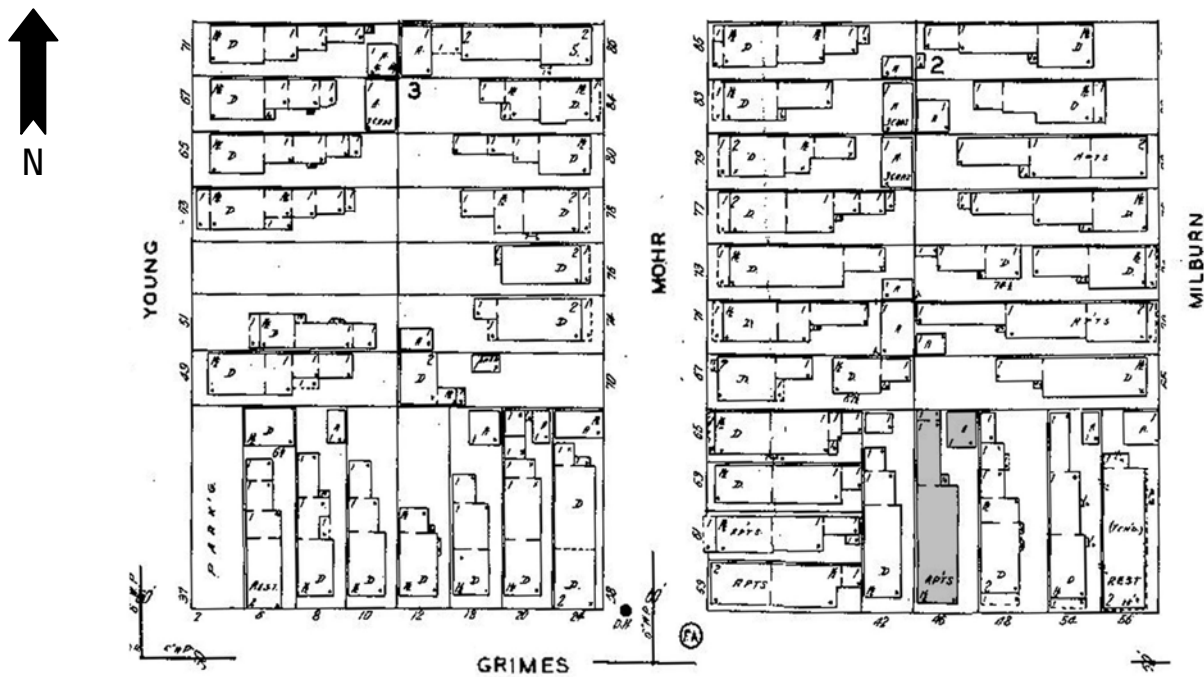
The multiple-family house at **46 Grimes Street** is located on the north side of the street, between Mohr and Milburn streets, in the southeastern section of the Broadway-Fillmore neighborhood. Grimes Street is a five-block long, east-west street between Young and Peck Streets, just north of the former New York Central Terminal property.

A one-and-one-half story, frame, extended workers' cottage with a clipped-gable roof. It has a rectangular plan and no foundation. The façade has an entrance with bracketed hood in the west bay. Exterior wall fabrics are wood shingle on the façade and clapboard on the side elevations. Fenestration is casement and one-over-one, double-hung wood sash. The east elevation has a side entrance with awning. A gabled dormer is located on the north slope. Extending north from the north end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block. A detached, hipped-roof, single bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 46 Grimes Street is significant as a good representative example of a Craftsman, extended workers' cottage constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for K. Orzechowski. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 717



PHOTOGRAPH: (Broadway-Fillmore R-14; N-11)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 43 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

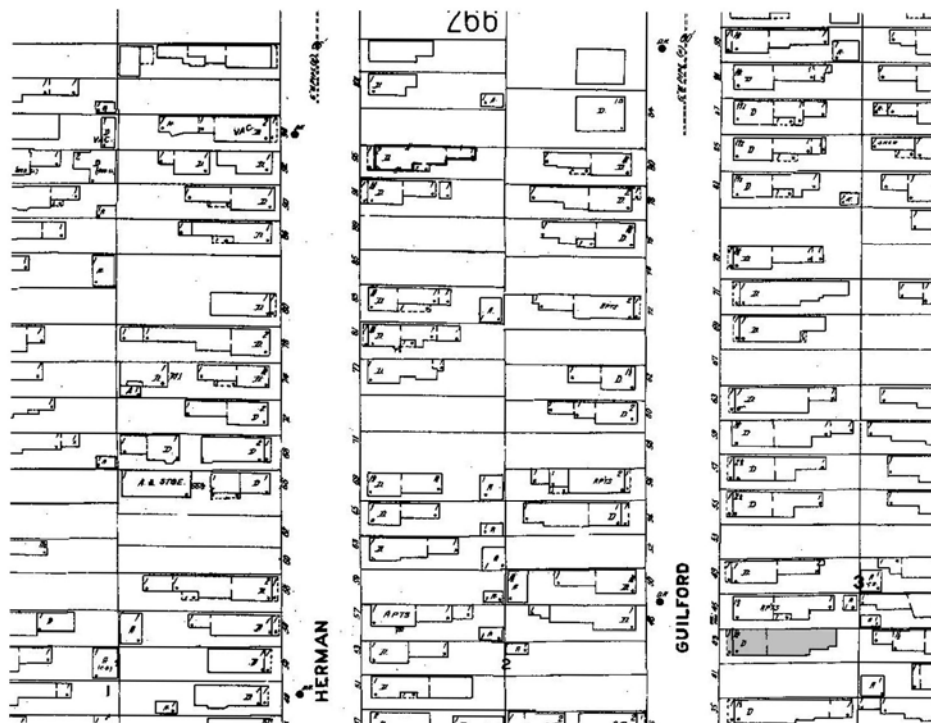
The single-family house at **43 Guilford Street** is located on the east side of the street, just north of Broadway. Guilford Street is a three-block long, north-south, residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with gabled-roof, metal rail and supports, and brackets. The entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, and two-over-one double-hung wood sash. The façade features corner boards, cornice returns and decorative wood in the gable. The south elevation has a cross-gable with cornice returns. Extending east from the east end of the main block with side entrance is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 43 Guilford Street is significant as a good representative example of an extended workers' cottage constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for Wojcek Stenclik. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 253



PHOTOGRAPH: (Broadway-Fillmore R-3; N-32)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 59 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

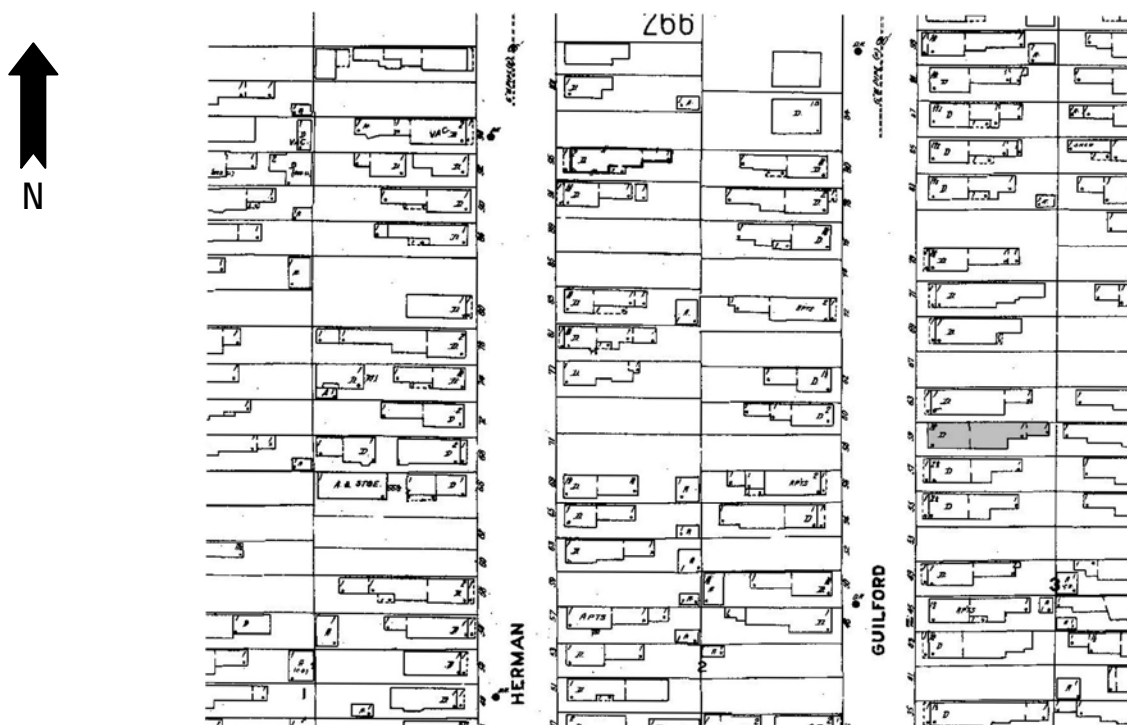
The single-family house at **59 Guilford Street** is located on the east side of the street, just north of Broadway. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a paneled and fixed light entrance door in the north bay. Exterior wall fabric is clapboard. Fenestration is three-over-one, double-hung wood sash. Decorative elements include corner boards, a wide frieze and cornice returns. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 59 Guilford Street is significant as a good representative example of a Craftsman, extended workers' cottage constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built for Josef Czarniewski. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 253



PHOTOGRAPH: (Broadway-Fillmore R-3; N-31)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 71 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

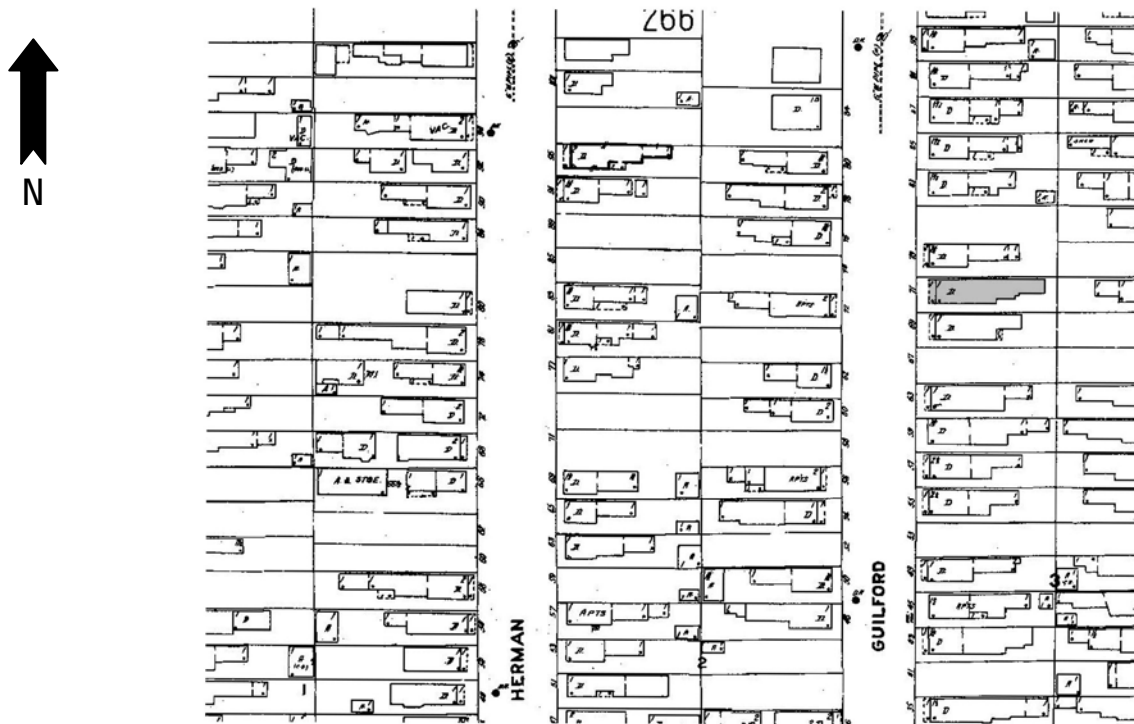
The single-family house at **71 Guilford Street** is located on the east side of the street, just north of Broadway. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a Craftsman porch with paneled square columns, an open wooden rail and a pediment with wood shingles over the entry. The entrance is located the north bay. Exterior wall fabric is clapboard. Fenestration is three-over-one, double-hung wood sash. Decorative elements include corner boards, a wide frieze and cornice returns. The gable peak is infilled with wood shingles. The south elevation has a side entrance and a gabled dormer rests on the south slope. Two brick chimneys are located on the ridge of the main block and the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 71 Guilford Street is significant as a good representative example of Craftsman, extended workers' cottage built by local by local real estate agent Frank Ruszkiewicz, who built 35, 69, 71, 106, 108, 126, 128, 164, 171, 177, 181, 185, 187, 189, 193, 197, 199 and 203 Guilford St., all in 1910. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 253



PHOTOGRAPH: (Broadway-Fillmore R-3; N-30)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 91 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

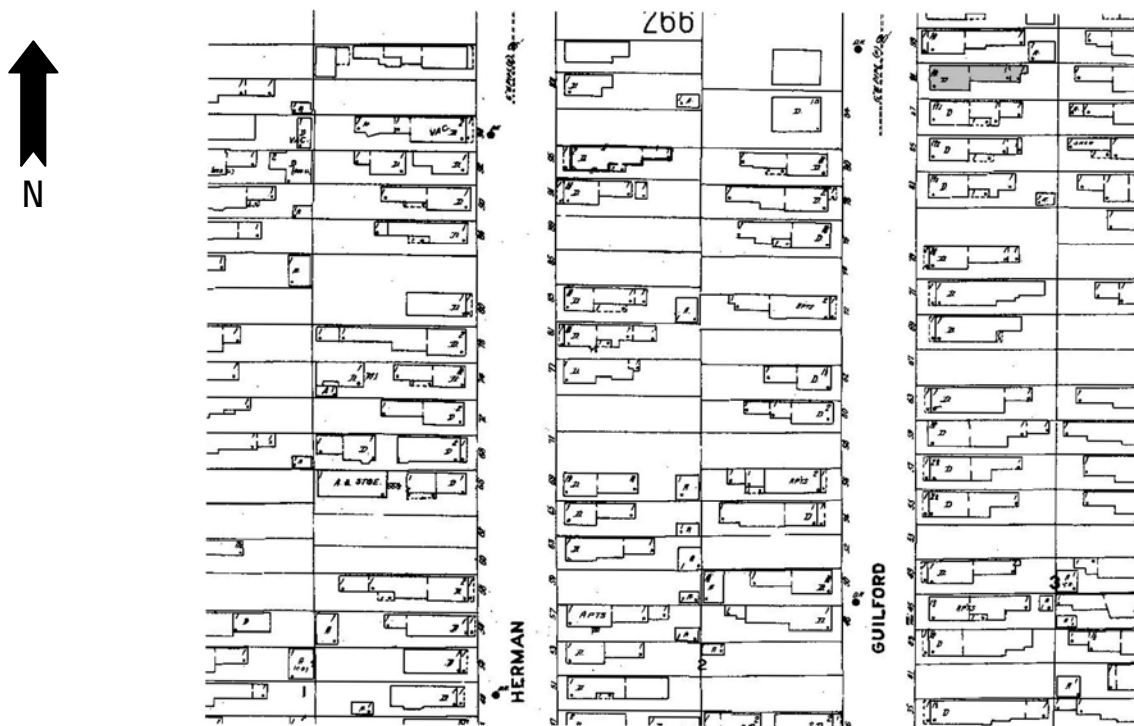
The building at **91 Guilford Street** is located on the east side of the street, just north of Broadway. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood. A vacant lot borders to property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. Door and window openings on the façade have Eastlake hoods. The entrance is located in the north bay. The lower façade windows are tall and narrow with four-over-four, double-hung wood sash. Exterior wall fabric is clapboard. The gable end features a paired window grouping of one-over-one double-hung wood sash and Eastlake saw tooth molding below the eaves. Window openings on the side elevations have been boarded. Extending east from the east end of the main block is a one one-story, gabled-roof addition with an attached shed addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Guilford Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details. The house was enlarged for Edward Scheuer in 1908. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 253



PHOTOGRAPH: (Broadway-Fillmore R-3; N-29)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 123 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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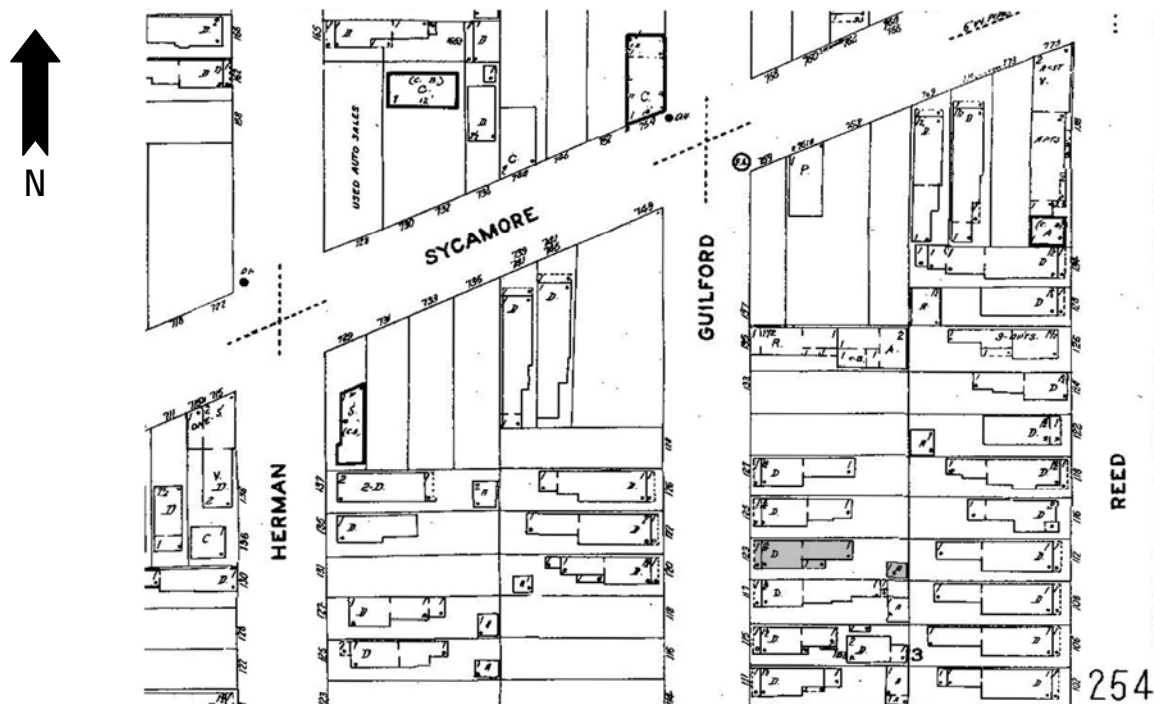
The building at **123 Guilford Street** is located on the east side of the street, just south of Sycamore Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch with wood shingled pedestals and rail, battered square piers and a wood shingled pediment. Door and window openings of the lower façade have been boarded. The gable end has two window openings with Eastlake hoods, the sashes have been removed, and Eastlake saw tooth molding below the eaves. Window openings on the side elevations have been boarded. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 123 Guilford Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details and a later Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-28)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 125 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

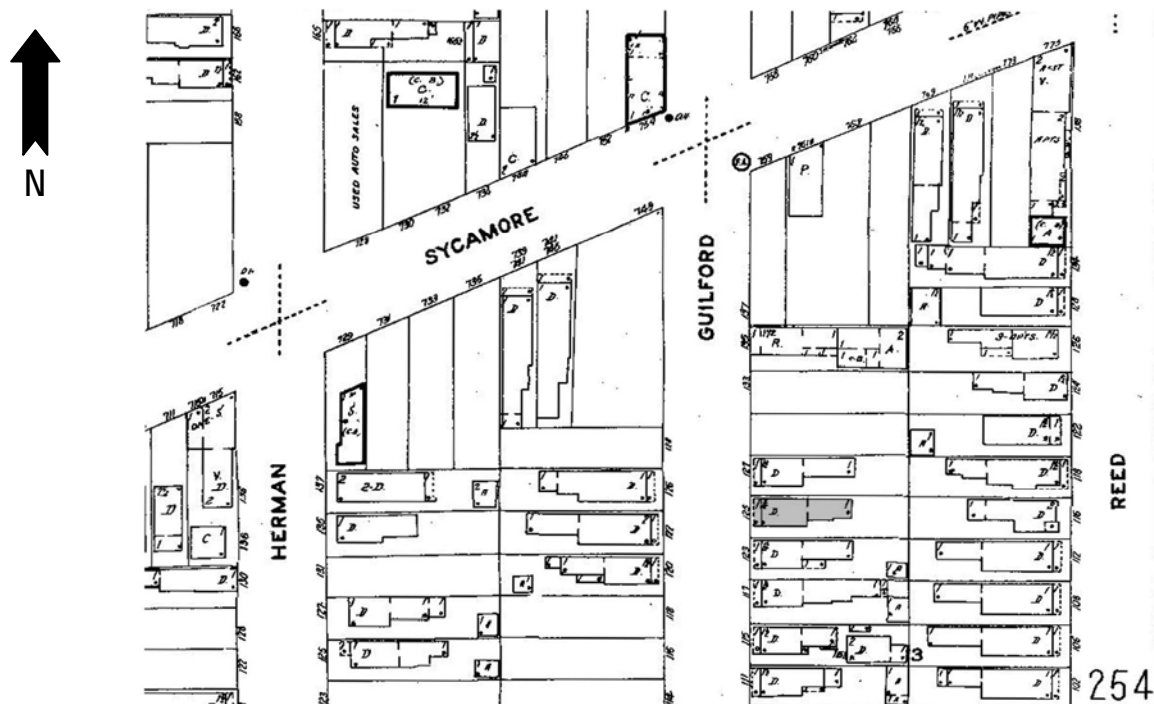
The building at **125 Guilford Street** is located on the east side of the street, just south of Sycamore Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch with a rusticated concrete block foundation and pedestals, battered square piers, open wooden rail, a wide unadorned frieze and wood-shingled pediment. Door and window openings of the lower façade have been boarded. The gable end has two window openings with Eastlake hoods, the sashes are damaged. Other details include corner boards and wide frieze in the gable end. Window openings on the side elevations of the main block have been boarded. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 125 Guilford Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details with a later Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-27)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 177 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

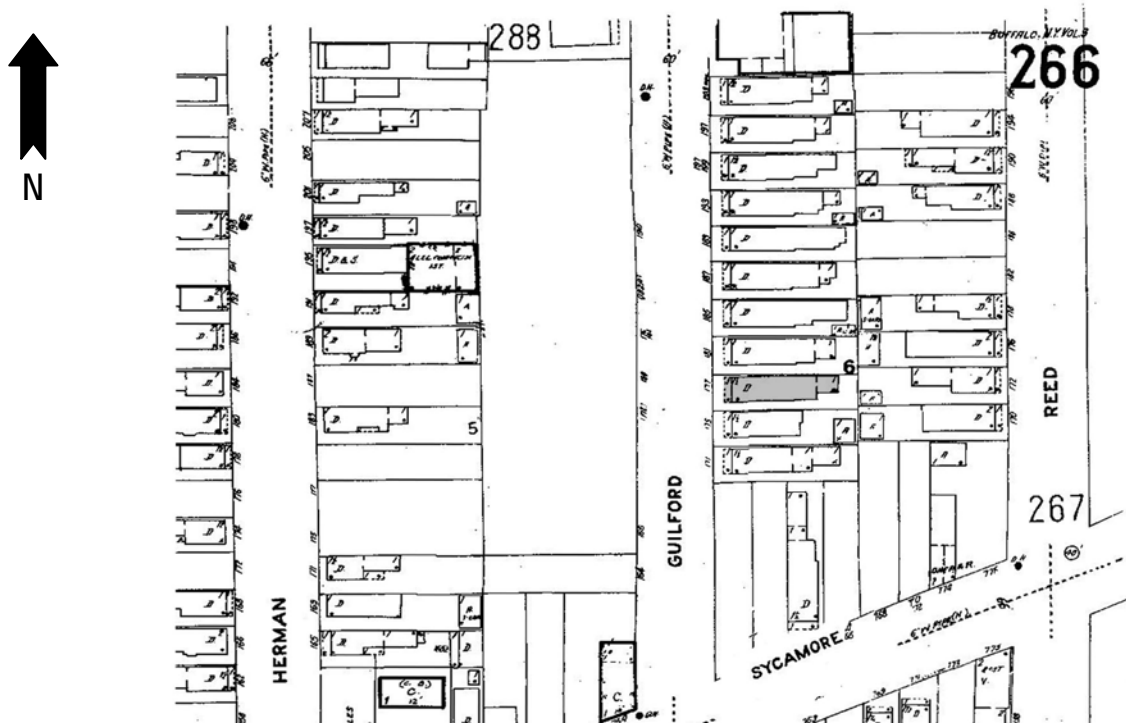
The single-family house at **177 Guilford Street** is located on the east side of the street, just north of Sycamore Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, porch with replacement metal supports and rail. The first floor façade has an entrance in the north bay and a triple window grouping with Cottage-type headers in the south bay. The façade has cornerboards and cornice returns. A gabled dormer is located on the south slope. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 177 Guilford Street is significant as a good representative example of a Craftsman, extended workers' cottage built by local real estate agent Frank Ruszkiewicz, who built 35, 69, 71, 106, 108, 126, 128, 164, 171, 181, 185, 187, 189, 193, 197, 199 and 203 Guilford St., all in 1910. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-26)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 181 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

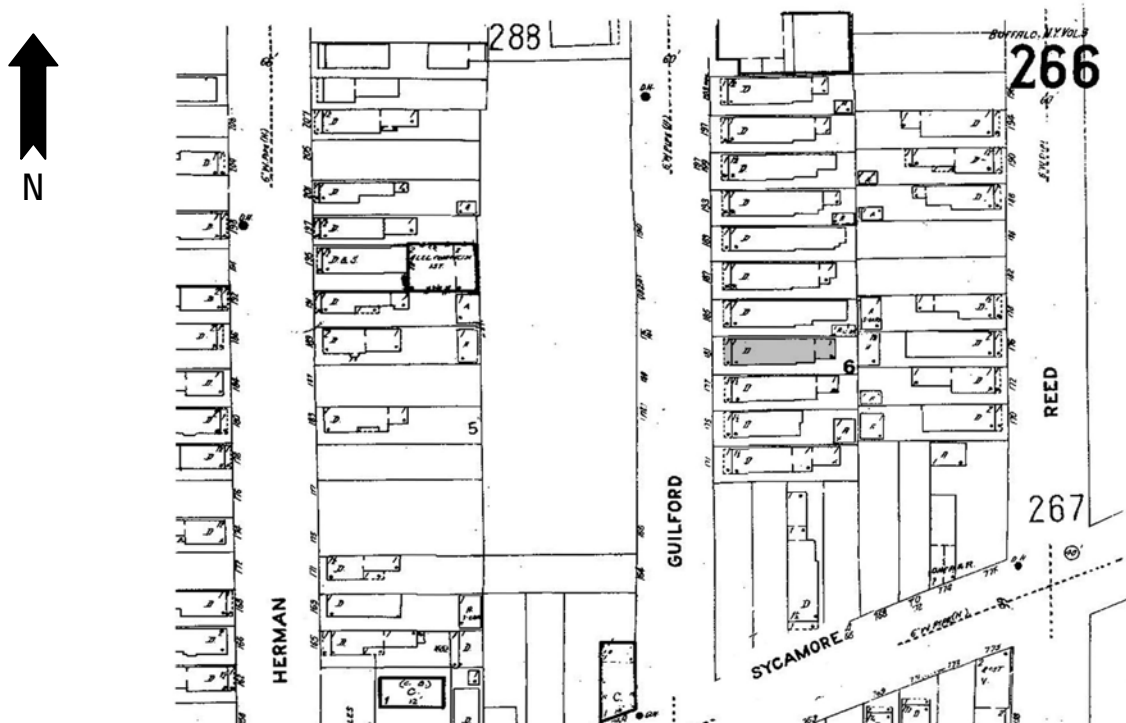
The single-family house at **181 Guilford Street** is located on the east side of the street, just north of Sycamore Street. Guilford is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, porch with square columns, a replacement rail and a pediment with wood shingles above the entry. The first floor façade has an entrance in the north bay and a casement window the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash. The gable end has cornice returns, a paired window grouping and wood shingles in the peak. The south elevation has a side entrance with bracketed canopy. A gabled dormer is located on the south slope. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 181 Guilford Street is significant as a good representative example of an extended workers' cottage built by local real estate agent Frank Ruszkiewicz, who built 35, 69, 71, 106, 108, 126, 128, 164, 171, 181, 185, 187, 189, 193, 197, 199 and 203 Guilford St., all in 1910. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-25)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 193 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

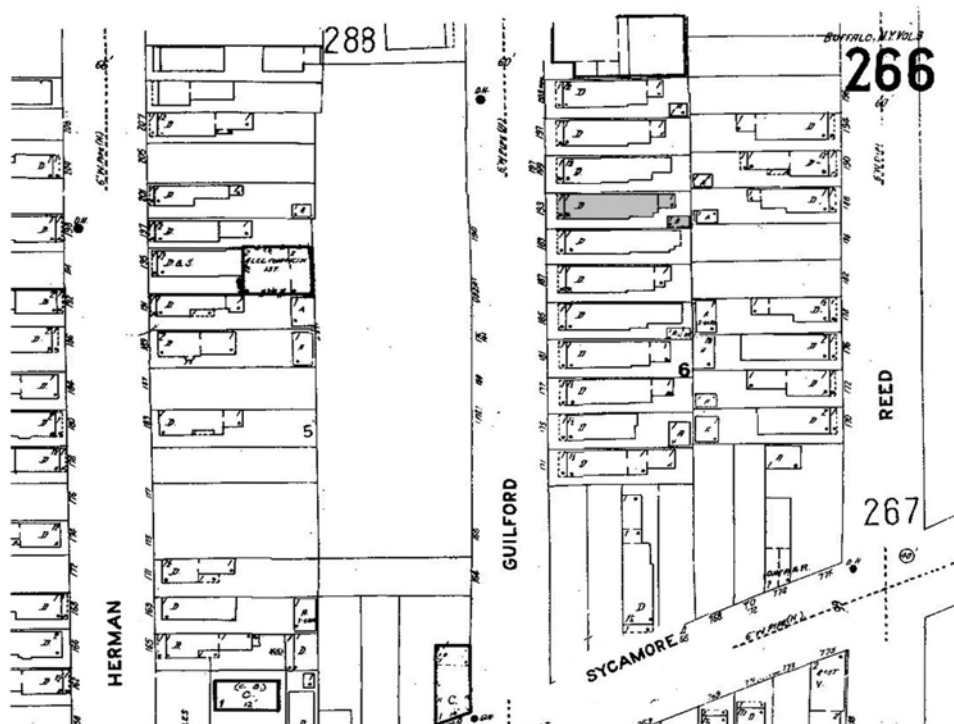
The single-family house at **193 Guilford Street** is located on the east side of the street, just north of Sycamore Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch with square columns, a solid wood-shingled rail and hipped roof. The entrance is set in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash. The gable end has cornice returns, a paired window grouping and wood shingles in the peak. The south elevation has a side entrance. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 193 Guilford Street is significant as a good representative example of a Craftsman, extended workers' cottage built by local real estate agent Frank Ruszkiewicz, who built 35, 69, 71, 106, 108, 126, 128, 164, 171, 181, 185, 187, 189, 193, 197, 199 and 203 Guilford St., all in 1910. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 197 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

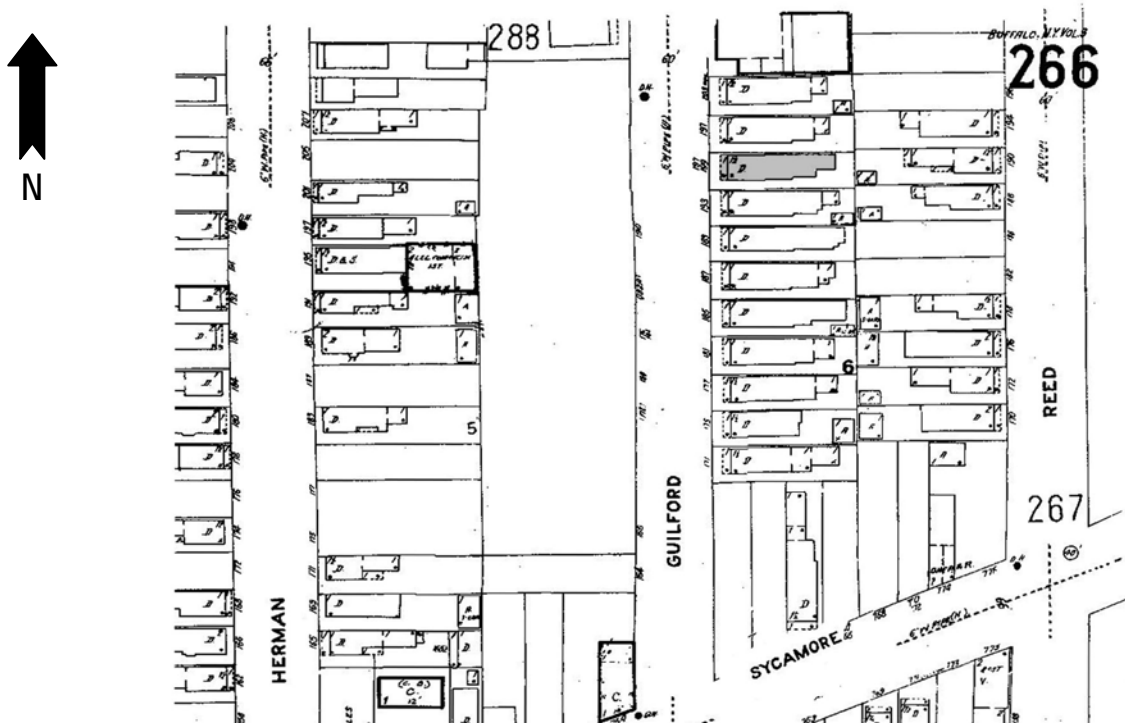
The single-family house at **197 Guilford Street** is located on the east side of the street, just north of Sycamore Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, porch with replacement metal supports and rail, and a pediment with wood shingles over the pent. The entrance is set in the north bay and triple window grouping of four-over-four- and eight-over-eight double-hung sash is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash. Corner boards accent the façade. The gable end has cornice returns. A side entrance with bracketed canopy is located on the side elevation. Two brick chimney rest on the ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 197 Guilford Street is significant as a good representative example of an extended workers' cottage built by local real estate agent Frank Ruszkiewicz, who built 35, 69, 71, 106, 108, 126, 128, 164, 171, 181, 185, 187, 189, 193, 197, 199 and 203 Guilford St., all in 1910. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 266



PHOTOGRAPH: (Broadway-Fillmore R-3; N-23)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) Duffy Silk Company/ Guilford Manufacturing Co.

Address or Street Location 207 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Vacant

Architect/Builder, if known Esenwein & Johnson, architects Date of construction, if known 1909, 1911, 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The industrial complex at **207 Guilford Street** is located on the east side of the street, between Sycamore and Genesee streets. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south

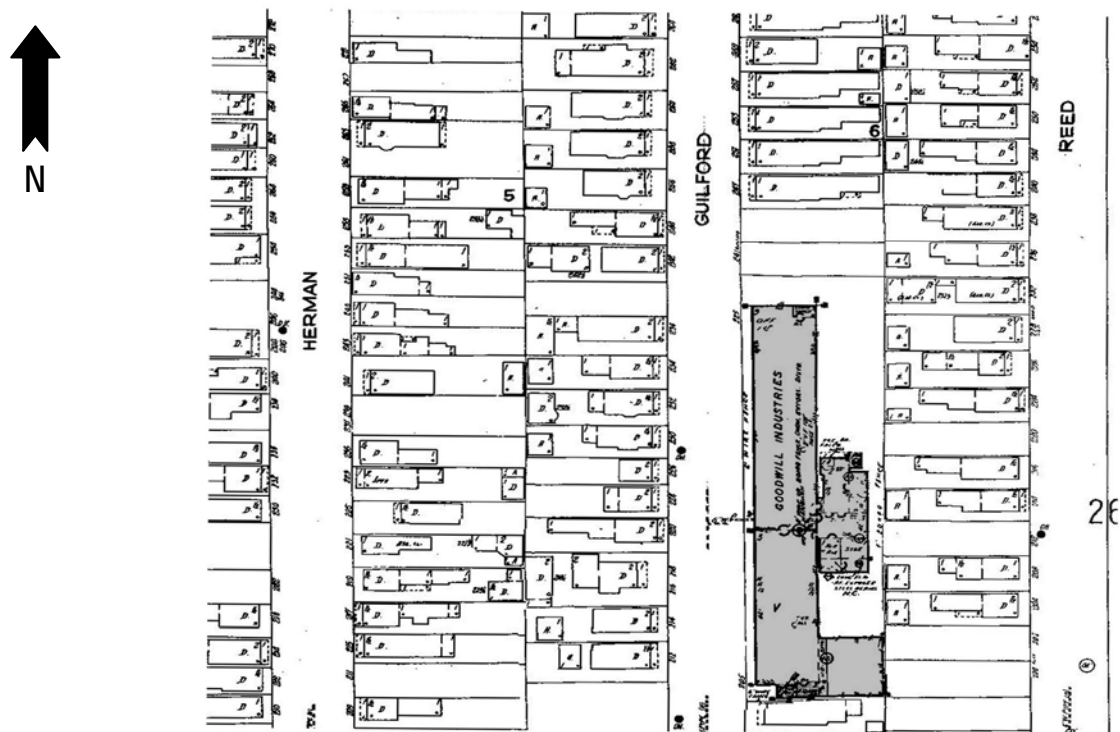
A three-story, brick factory constructed in sections. The three-story northern section was built in 1909, along with a one-story southern section; the southern section received a second story in 1911 and a third story in 1919. Further additions were later made in the rear. Fenestration is symmetrical with multiple, continuous segmental-arched openings spanning the upper two levels of the east façade. Three entry bays are located in the southern end of the factory. A stair well is attached to the southern end of the building. A one-story brick wing is attached to the west elevation of the southern end. A two-story wing is attached to the west elevation of the central section of the main block. Almost all of the factory's window openings are boarded or filled in.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The Duffy Silk Company building at 207 Guilford Street is significant as a good representative example of an architect-designed industrial building constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built in sections as a silk mill for the Guilford Manufacturing Co. to the designs of the prominent local firm Esenwein & Johnson. The Duffy Silk Co. moved to Buffalo from Fort Plain around 1900 for the abundant labor and cheap electricity. Around 1910 the name was changed to the Guilford Manufacturing Co., but later reverted to the original name. The firm eventually built three factories in Buffalo, including one on Broadway. These plants switched to processing nylon yarn just before World War II, when the source of silk in the Far East was cut off. These buildings are now vacant.

Esenwein & Johnson's other major works in the Broadway-Fillmore neighborhood include the large industrial building constructed for the Duffy Silk Company at 1270 Broadway (1905), the structure is presently used by the Guilford Manufacturing Company, and the Adamesque style bank at 904 Broadway. The firm also designed the Buffalo Museum of Science (1929), which stands just north of the Broadway-Fillmore neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-2; N-8)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 253 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

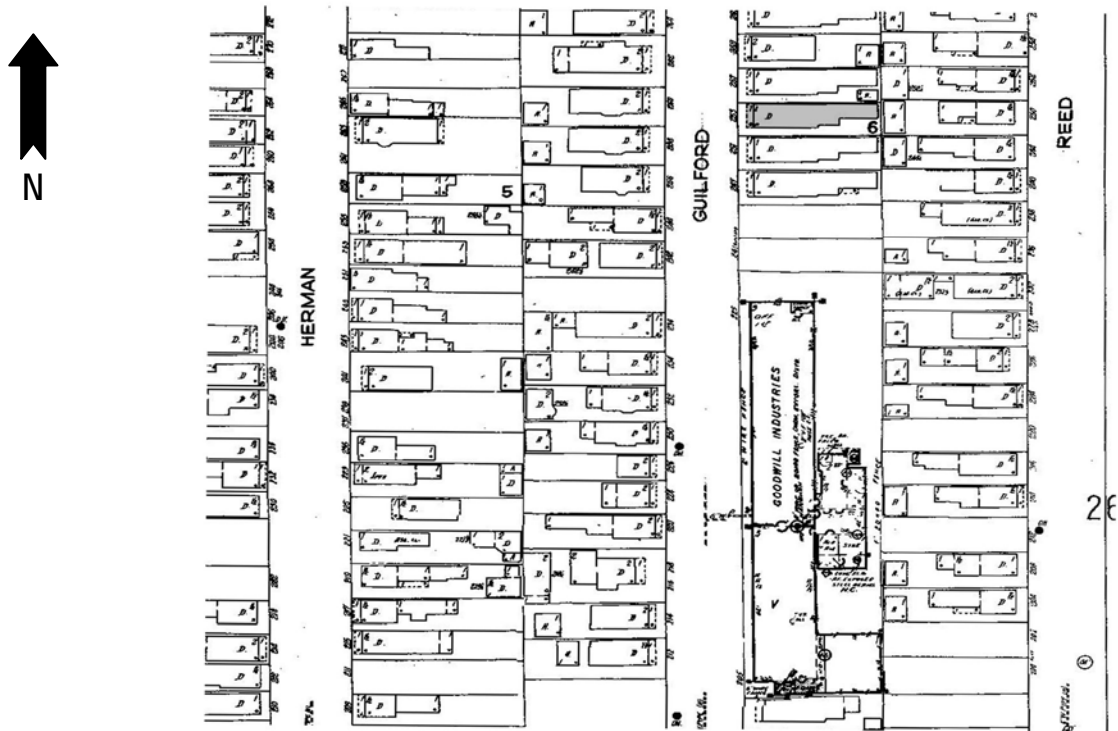
The single-family house at **253 Guilford Street** is located on the east side of the street, between Sycamore and Genesee streets. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch that includes square columns, an open wooden rail, and a pediment with wood shingles above the entry. The main entrance is in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance. A brick chimney rests on the front, east slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 253 Guilford Street is significant as a good representative example of Craftsman, extended workers' cottage built for Mary Kreiter, who also built 241, 245, 247, 251, 257 and 259 Guilford St., all in 1911. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-3; N-22)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) St. Mary of Sorrows Rectory

Address or Street Location 333 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Religious Current use Religious

Architect/Builder, if known Joseph J. Geigand, architect Date of construction, if known 1921-1922

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: clay tile roof

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The **St. Mary of Sorrows Rectory at 333 Guilford Street** is located just north of the northeast corner of Genesee and Guilford streets, on the west side of St. Mary of Sorrows Church (938 Genesee St.). A hedgerow and metal fence line the perimeter of the lot.

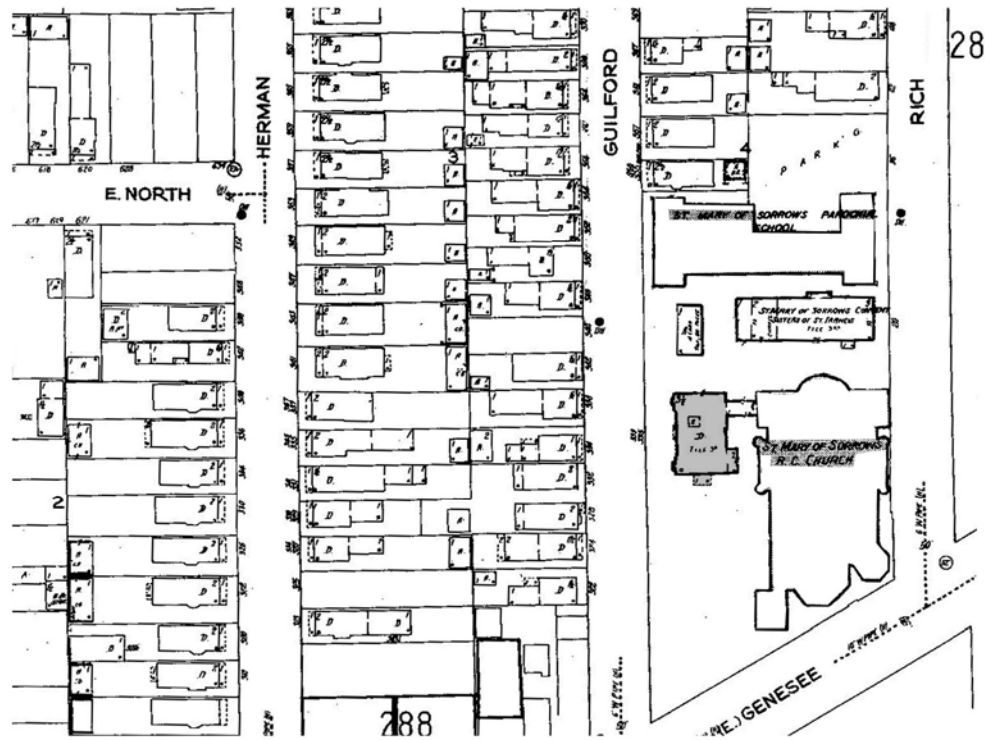
A three-story, Mediterranean-inspired building with a bracketed hipped roof sheathed with clay tile. The first two floors have a brick veneer and the upper level is covered with stucco. The main block is three-bays-wide and five-bays-deep. Fenestration is symmetrical with paired windows set in stone surrounds. The first floor has round-arched openings with keystone. Two polygonal bays with decorative brick panels and stone accents are located in the end bays of the west elevation. Center entry porches are located on the west and south elevations. A stone cornice caps the second story. The roof features hipped dormers with triple window openings and a stucco veneer, and a brick chimney on the north slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

St. Mary of Sorrows Rectory at 333 Guilford Street an excellent example of an architect-designed, ancillary religious building constructed in the early 1920s in the Broadway-Fillmore neighborhood. This Mediterranean-inspired building was constructed to the plans of Joseph J. Geigand, one of a few architects of German extraction. Geigand designed a number of buildings associated with the German-American community of Buffalo.

German Catholics, who lived in the northern part of the Broadway-Fillmore district, worshipped at St. Mary of Sorrows. Built in 1887 in the Rhenish Romanesque style to the designs of German-born Chicago architect Adolphus Druiding, it served the ethnic German families that until the mid twentieth century lived along the quiet streets north of Genesee Street. Closed by the diocese in the 1980s, the rusticated limestone building, which is on the National Register of Historic Places, was restored and reopened in the following decade as the King Urban Life Center.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 361 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

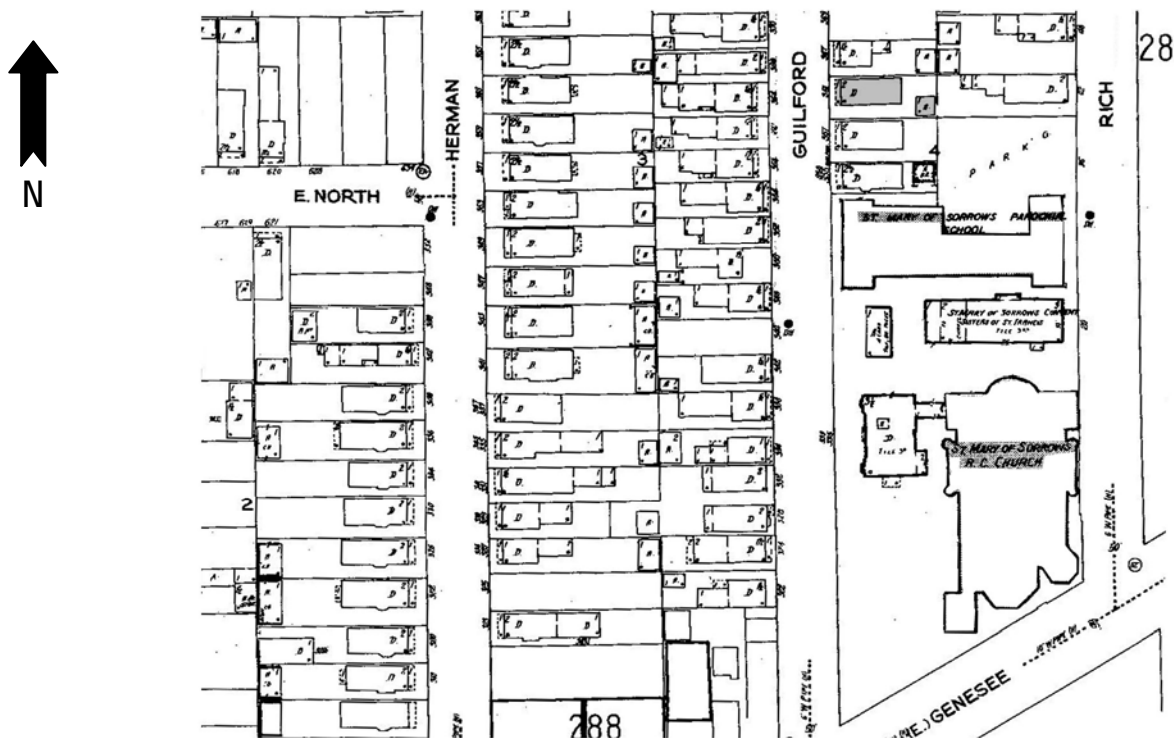
The multiple-family house at **361 Guilford Street** is located on the east side of the street, just north of Genesee Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame, vernacular residence. It has a rectangular plan and is set on a limestone block foundation. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. The façade has a full-width porch with replacement supports and rail, and a flat roof. The entrance is located in the north bay and a Queen Anne-type window with leaded glass header is set in the south bay. Fenestration is symmetrical featuring one-over-one double-hung sash. A polygonal oriel is located in the south bay of the upper façade. The gable end features a Palladian-type window. A full-height, polygonal bay with pediment and a side entrance are located on the south elevation. A brick chimney rests on the center ridge. A single-bay, hipped-roof garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 361 Guilford Street is significant as a good representative example of large, multiple-family residence constructed in the first decade of the twentieth century in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 382 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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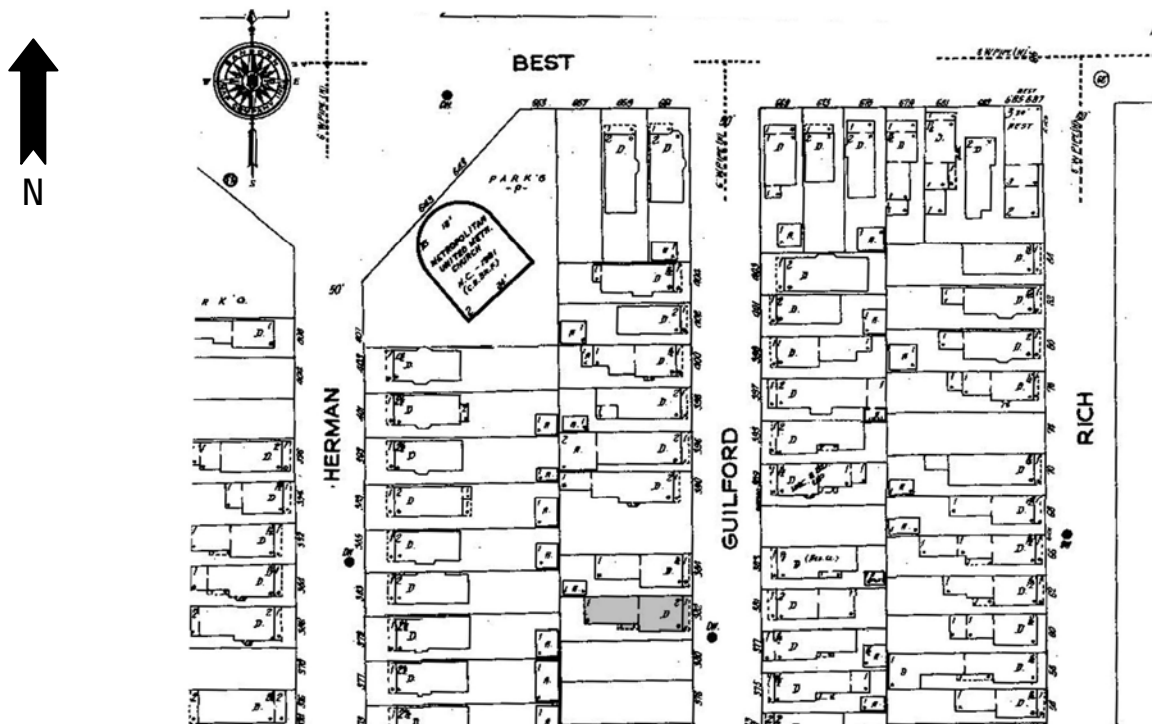
The single-family house at **382 Guilford Street** is located on the west side of the street, just north of Genesee Streets. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A two-story, front-gabled, frame, vernacular residence. It has a rectangular plan and no foundation. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash. The façade has a full-width porch with square columns and an open wooden rail. The entrance vestibule is located in the north bay. The gable end features Eastlake saw tooth molding. Two one-story additions extend west from the west end of the main block. The first rear addition has an entrance on the south elevation. A brick chimney rests on the south slope, and on the rear ridge of the first rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 382 Guilford Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a later Craftsman porch. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 398 Guilford Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

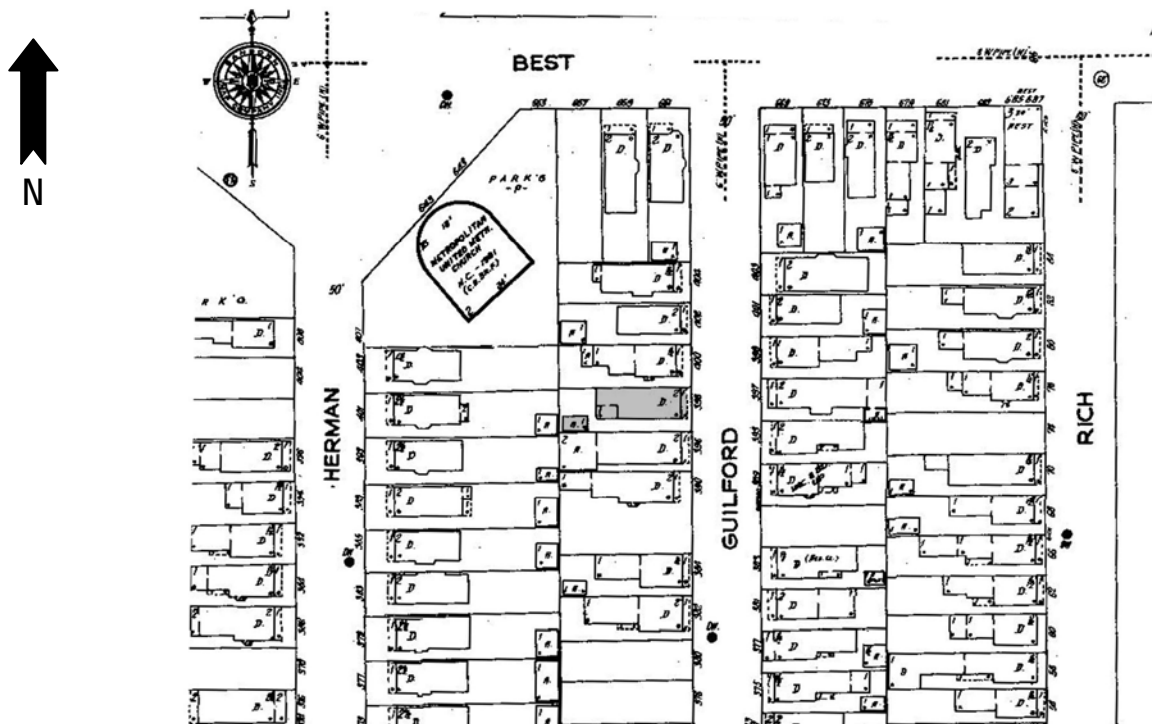
The single-family house at **398 Guilford Street** is located on the west side of the street, just south of Best Street. Guilford Street is a three-block long, north-south residential street that begins at Broadway and terminates at Best Street. The property is located in the western section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, vernacular residence with attic. It has a rectangular plan and no foundation. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash. The façade has a full-width porch with spindlework rail and turned posts and scalloped-edged frieze. The entrance is located in the north bay. The gable end features Eastlake saw tooth molding and a fixed light in the peak. Two, one-story additions extend from west from the west end of the main block. Two brick chimneys rest on the south slope. A single bay, two-door garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 398 Guilford Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 20 Harmonia Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

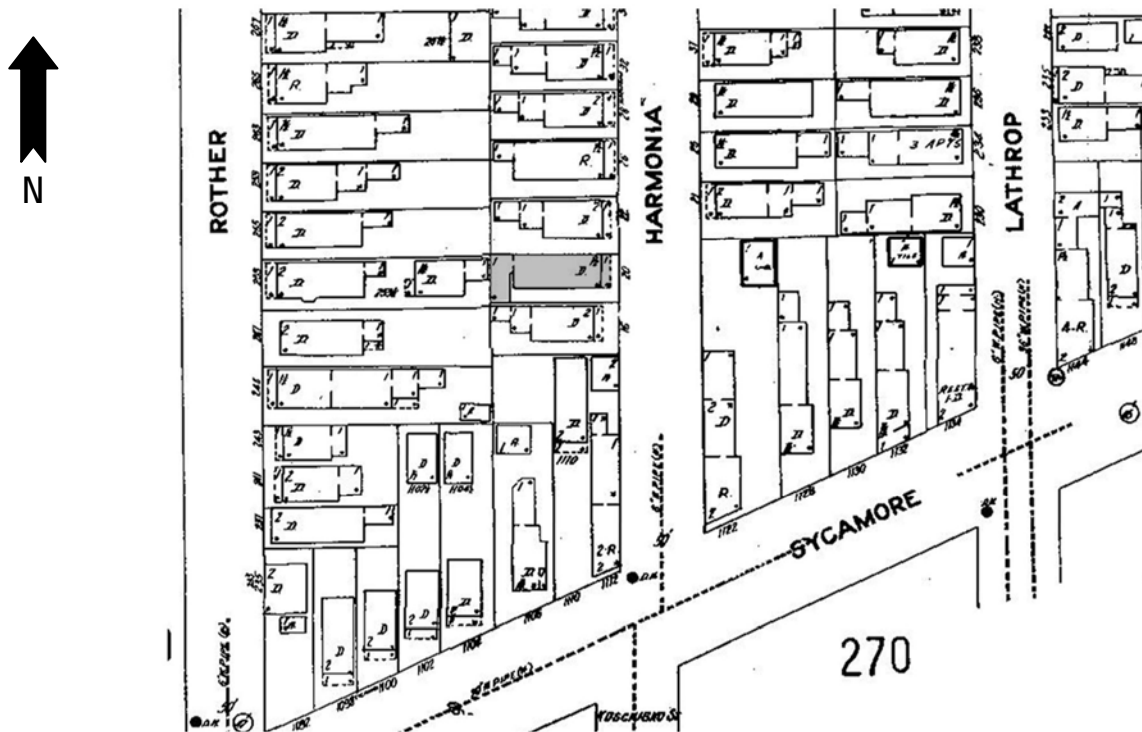
The single-family house at **20 Harmonia Street** is located on the west side of the street, just north of Sycamore Street. Harmonia Street is a one-block long residential street extending from Sycamore Street to Walden Avenue. The property is located in the northeast corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, frame workers' cottage with a front-gabled roof. It has a rectangular plan and is set on piers. The façade has a full-width Craftsman porch that includes square columns, an open wooden rail with balusters and a hipped roof. The main entrance is in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A one story addition with entrance extends west from the west end of the main block. A brick chimney rests on the roof ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 20 Harmonia Street is significant as a good representative example of Craftsman, extended workers' cottage constructed in the early twentieth century in the Broadway-Fillmore neighborhood. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-9; N-1)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 70 Harmonia Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

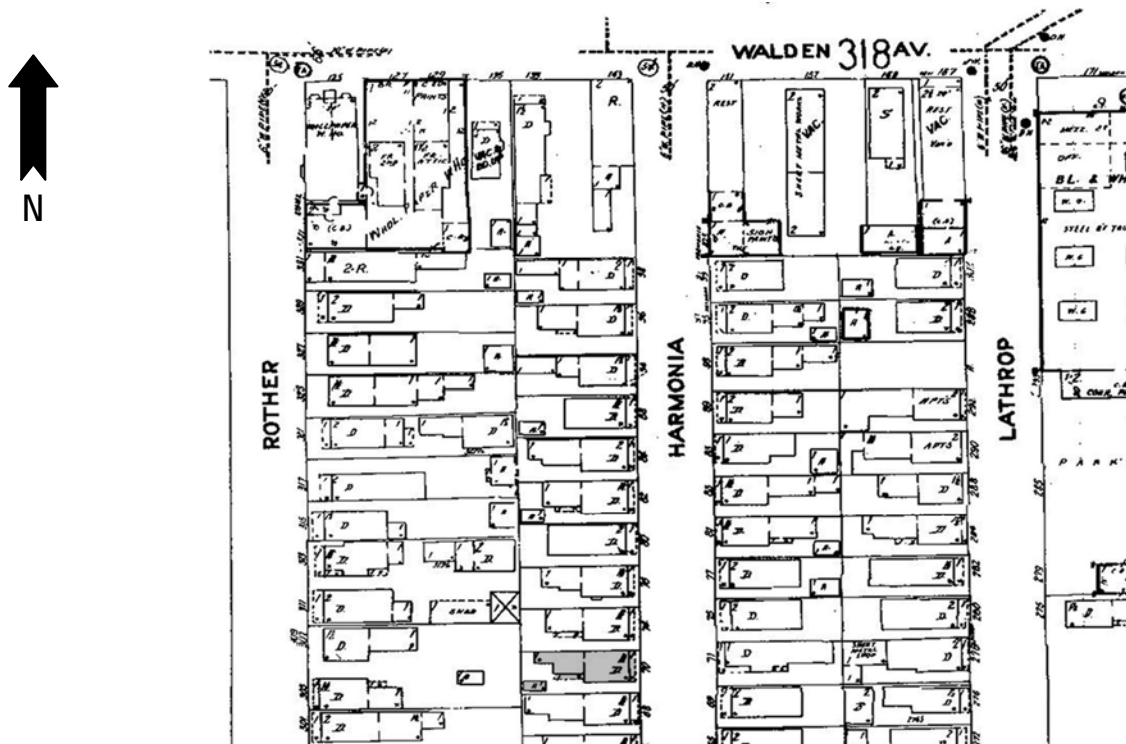
The single-family house at **70 Harmonia Street** is located on the west side of the street, just north of Sycamore Street. Harmonia Street is a one-block long residential street extending from Sycamore Street to Walden Avenue. The property is located in the northeast corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, frame workers' cottage with a front-gabled roof. It has a rectangular plan and is set on piers. The façade has a full-width Craftsman porch that includes battered, square columns, a replacement rail, and a hipped roof. The main entrance is in the north bay and a triple window grouping with leaded glass headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The upper façade windows have simple wooden heads. Cornerboards, scalloped-edged clapboards, and Eastlake sawtooth molding accent facade. A one-story addition with entrance extends west from the west end of the main block. A brick chimney rests on the roof ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 70 Harmonia Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details and a later Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-8; N-37)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 77 Harmonia Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

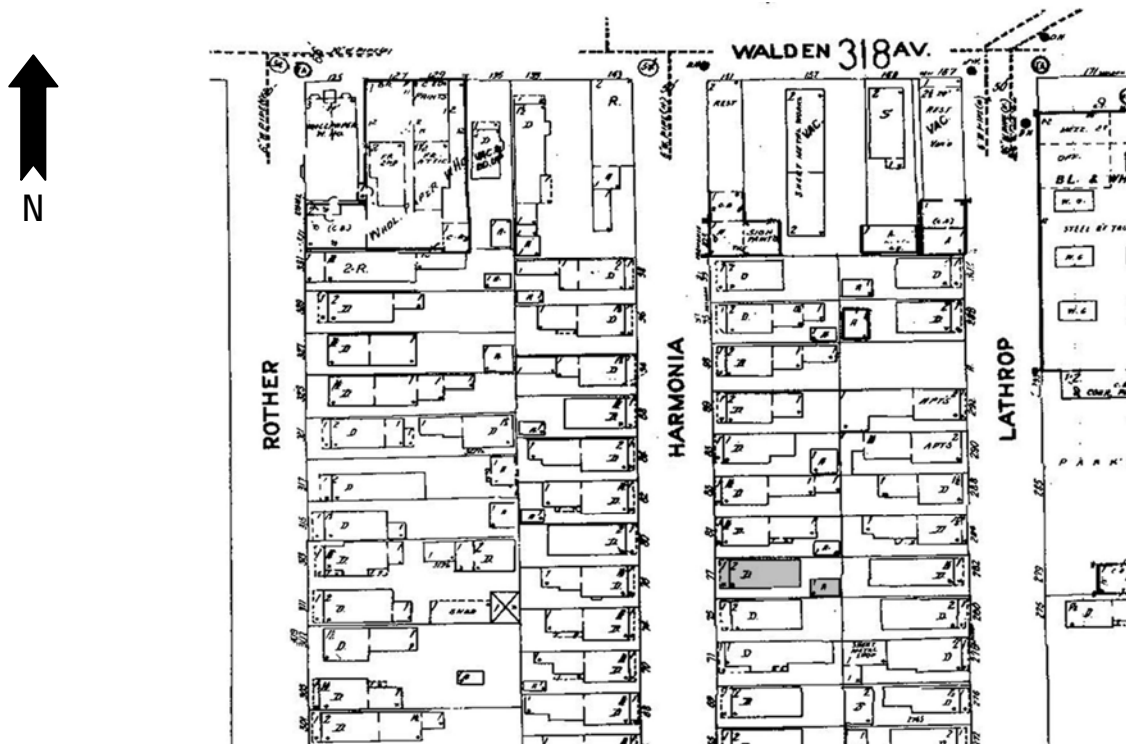
The two-family house at **77 Harmonia Street** is located on the east side of the street, just north of Sycamore Street. Harmonia Street is a one-block long residential street extending from Sycamore Street to Walden Avenue. The property is located in the northeast corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. The façade has a full-width Craftsman porch with a rusticated concrete block foundation, square columns, an open wooden rail and a wood-shingled gabled-roof. A pair of entrance doors with entablatures, is located in the north bay and a triple window grouping with headers with three lights are located in the south bay. Fenestration is symmetrical featuring one-over-one double-hung wood sash. The upper façade has a polygonal oriel in the south bay. The gable end features a paired window grouping. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 77 Harmonia Street is significant as a good representative example of a multiple-family residence that was constructed in the early twentieth century. This building design was popular among local builders in the first two decades of the twentieth century on the East Side of Buffalo. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-8; N-36)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 82 Harmonia Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Porch Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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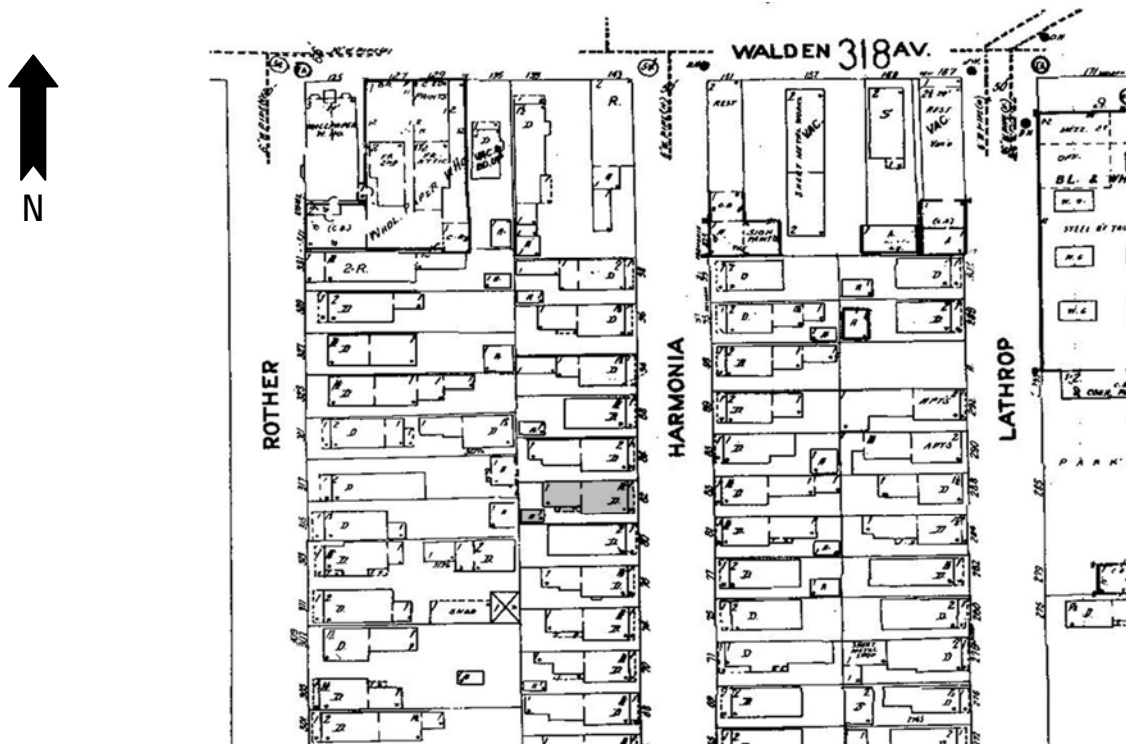
The single-family house at **82 Harmonia Street** is located on the west side of the street, just north of Sycamore Street. Harmonia Street is a one-block long residential street extending from Sycamore Street to Walden Avenue. The property is located in the northeast corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, frame workers' cottage with a front-gabled roof. It has a rectangular plan and is set on piers. The façade has an enclosed, full-width porch with entrance double-leaf doors in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The upper façade has a paired window grouping with pent and the gable peak is infilled with wood shingles. Corner boards accent the facade. A one-story addition with entry porch extends west from the west end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **82 Harmonia Street** is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-8; N-35)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 99 Harmonia Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

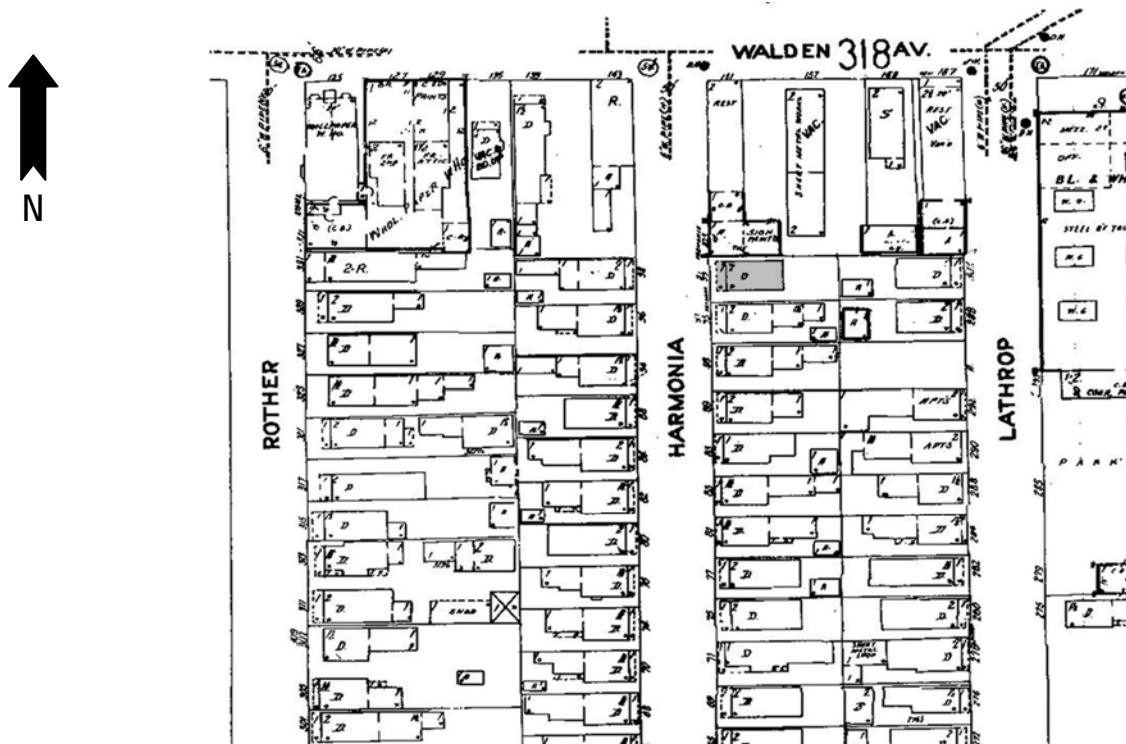
The multiple-family house at **99 Harmonia Street** is located the east side of the street, one lot south of Walden Avenue. Harmonia Street is a one-block long residential street extending from Sycamore Street to Walden Avenue. The property is located in the northeast corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A two-and-one-half story, closed-gabled, frame, vernacular residence. It has a rectangular plan and is set on a limestone block foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with a wood-shingled foundation, square columns, an open wooden rail, and a wood-shingled gabled-roof. The entrance is located in the north bay and a triple window grouping is set in the south bay. Fenestration is three- and one-over-one double-hung wood sash. The gable end features a triple window grouping. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **99 Harmonia Street** is significant as a good representative example of a Craftsman residence constructed in the mid-1920s in the Broadway-Fillmore neighborhood. It was built as a two family house for S. N. Rozel. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-8; N-34)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 323 Herman Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

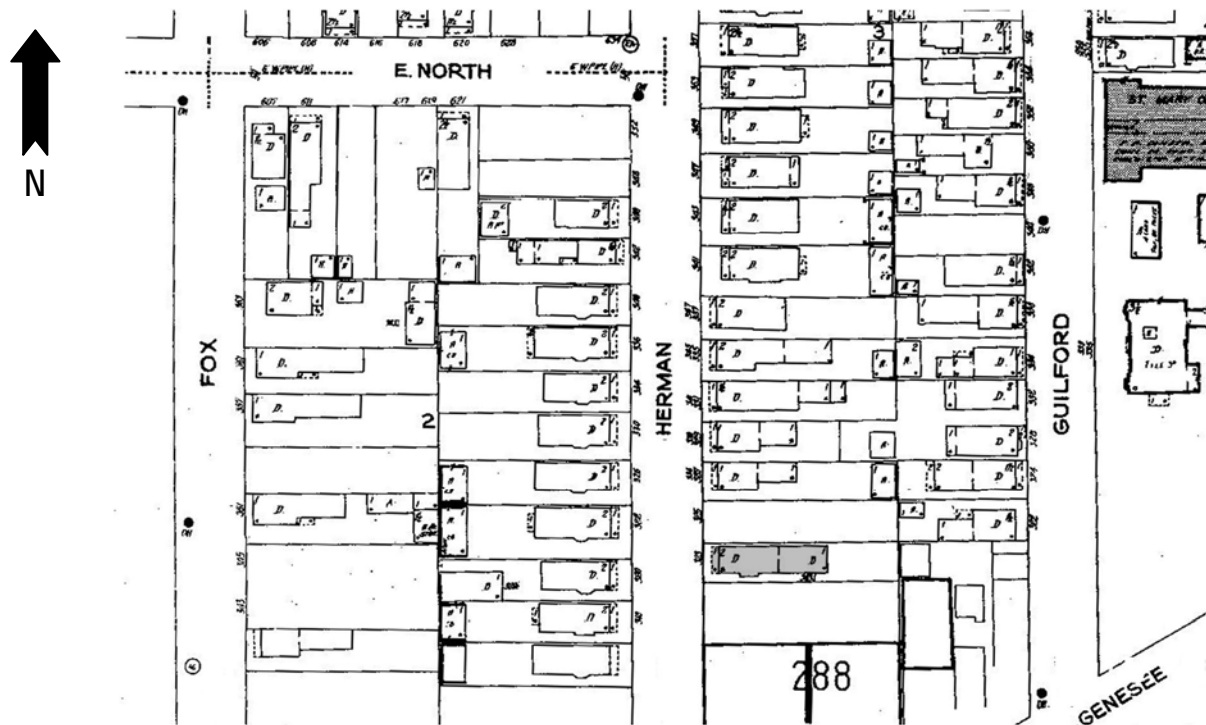
The multiple-family house at **323 Herman Street** is located on the east side of the street, between Genesee and E. North streets. Herman Street is a four-block long, north-south, residential street extending from Broadway to Best Street. The property is located in the northwestern corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A two-and-one-half story, front-gabled, frame, vernacular residence. It has a rectangular plan and is set on a limestone block foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with a wood-shingled foundation, square columns, and a solid wood-shingled rail. The entrance is located in the north bay and a triple window grouping is set in the south bay. Fenestration is three- and one-over-one double-hung wood sash. The upper facade has an open porch with metal balustrade and an entrance in the north bay. A pent divides upper façade and the gable peak, which contains a single window opening. A full-height, rectangular oriel and a side entrance are located on the south elevation. A one-story, gabled addition extends east from the east end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 323 Herman Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with an early twentieth century Craftsman porch. It was enlarged from a two-family to a three-family house by August Kay in 1922. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 343 Herman Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

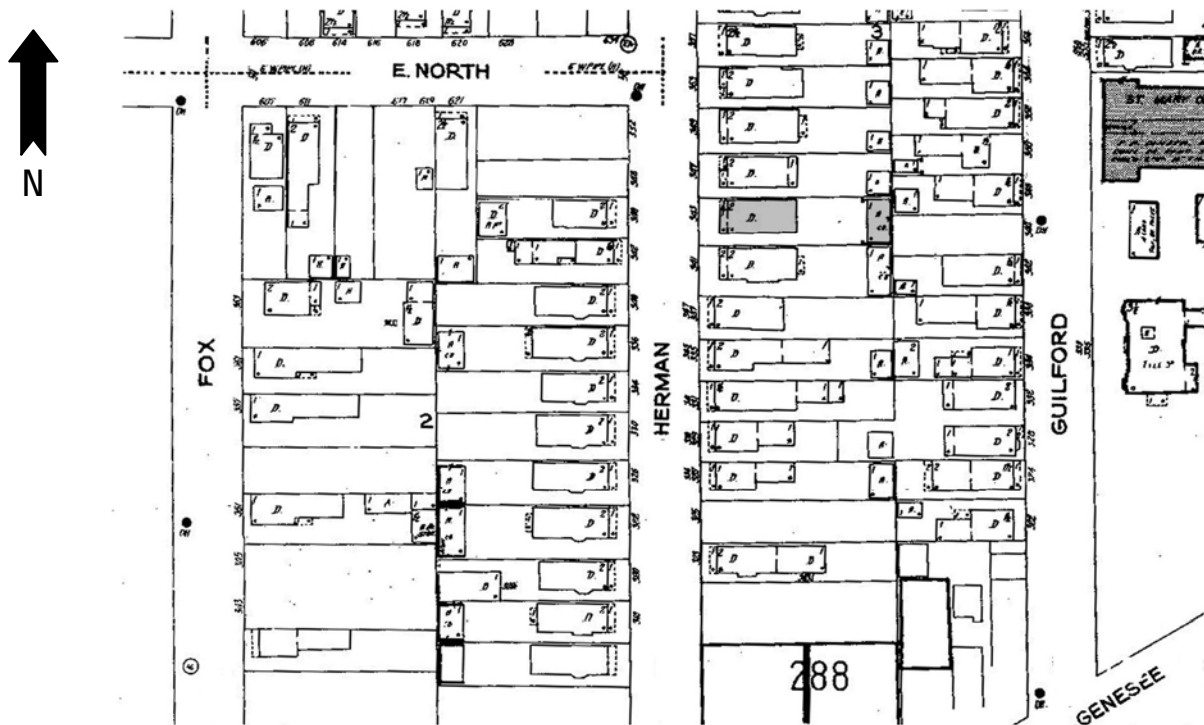
The multiple-family house at **343 Herman Street** is located on the east side of the street, between Genesee and E. North streets. Herman Street is a four-block long, north-south residential street extending from Broadway to Best Street. The property is located in the northwestern corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame, vernacular residence. It has a rectangular plan and is set on a rusticated concrete block foundation. Exterior wall fabric is clapboard. The façade has a cutaway porch with square column in the north bay and a partial enclosed porch. A full-width, metal awning extends across the porch. Fenestration is three- and one-over-one double-hung wood sash. The façade has corner boards. The upper facade has an open porch with no balustrade, an entrance in the north bay and a polygonal bay in the south bay. A triple window grouping is located in the wood-shingled gable peak. A side entrance is located on the south elevation. A brick chimney rests on the roof ridge. A detached, single-bay, concrete-block garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 343 Herman Street is significant as a good representative example of a multiple-family residence that was constructed in the mid 1920s in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-11)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 347 Herman Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

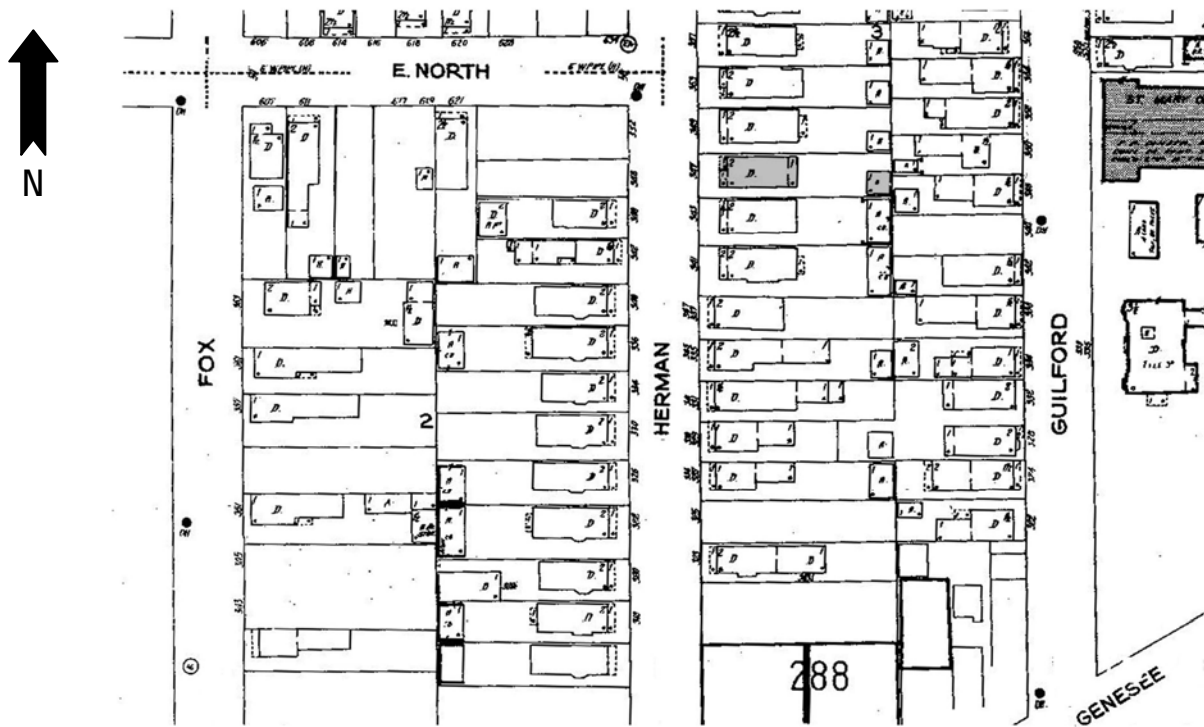
The multiple-family house at **347 Herman Street** is located on the east side of the street, between Genesee and North Streets. Herman Street is a four-block long, north-south residential street extending from Broadway to Best Street. The property is located in the northwestern corner of the Broadway-Fillmore neighborhood.

A two-story, hipped-roof, frame building with Craftsman detailing. It has a rectangular plan and is set on a brick and poured concrete block foundation. The façade a brick porch consisting of a cutaway porch with square pier in the north bay and a partial-width living porch in the south bay. Fenestration is three-over-one, double-hung wood sash. Exterior fabric of the main block is clapboard. The upper façade has two polygonal oriels and a wooden balustrade. A hipped dormer with a triple window grouping with six-over-one, double-hung sash rests on the front slope. A polygonal oriel and a side entrance are located on the south elevation. A brick chimney rests off-center ridge. A detached, hipped-roof, single-bay garage sheathed with clapboard stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 347 Herman Street is significant as an excellent example of a mostly-intact example of a Craftsman residence that was constructed in the mid 1920s in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 349 Herman Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☒ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

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Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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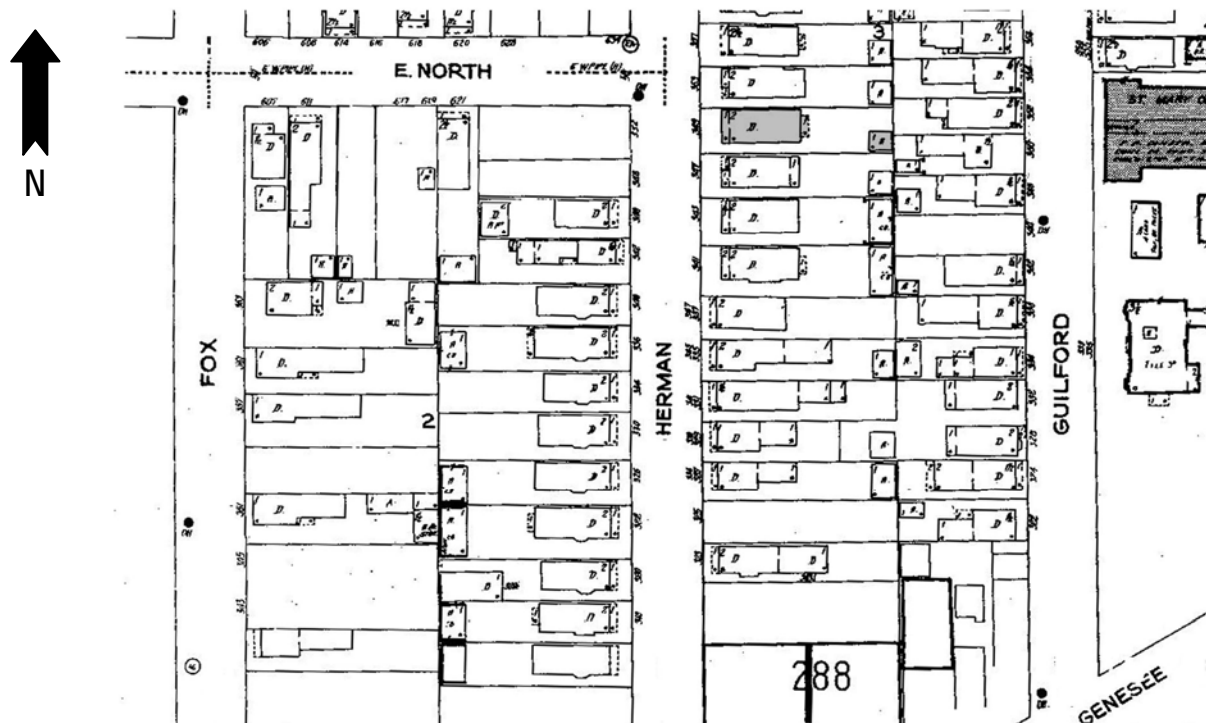
The single-family house at **349 Herman Street** is located on the east side of the street, between Genesee and E. North streets. Herman Street is a four-block long, north-south residential street extending from Broadway to Best Street. The property is located in the northwestern corner of the Broadway-Fillmore neighborhood.

A two-story, hipped-roof, frame building with Craftsman detailing. It has a rectangular plan and is set on a brick and limestone block foundation. The façade has an enclosed brick porch with an entrance door in the south bay, which has  $\frac{3}{4}$  sidelights and a transom above. The porch features a triple grouping of windows with transoms and brackets accent the roofline. The upper façade has an open porch with wooden balustrade, an entrance in the south bay, and a multi-paned, polygonal oriel in the north bay. Exterior fabrics of the main block are clapboard on the lower floor and wood shingles on the upper floor. A hipped dormer with a triple window grouping of three-over-one, double-hung sash rests on the front slope. A two-story, rectangular oriel is located on the north elevation. A brick chimney rests off-center ridge. A detached, hipped-roof, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 349 Herman Street is significant as a good representative example of a Craftsman residence that was constructed in the mid-1920s in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-13)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 353 Herman Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☒ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

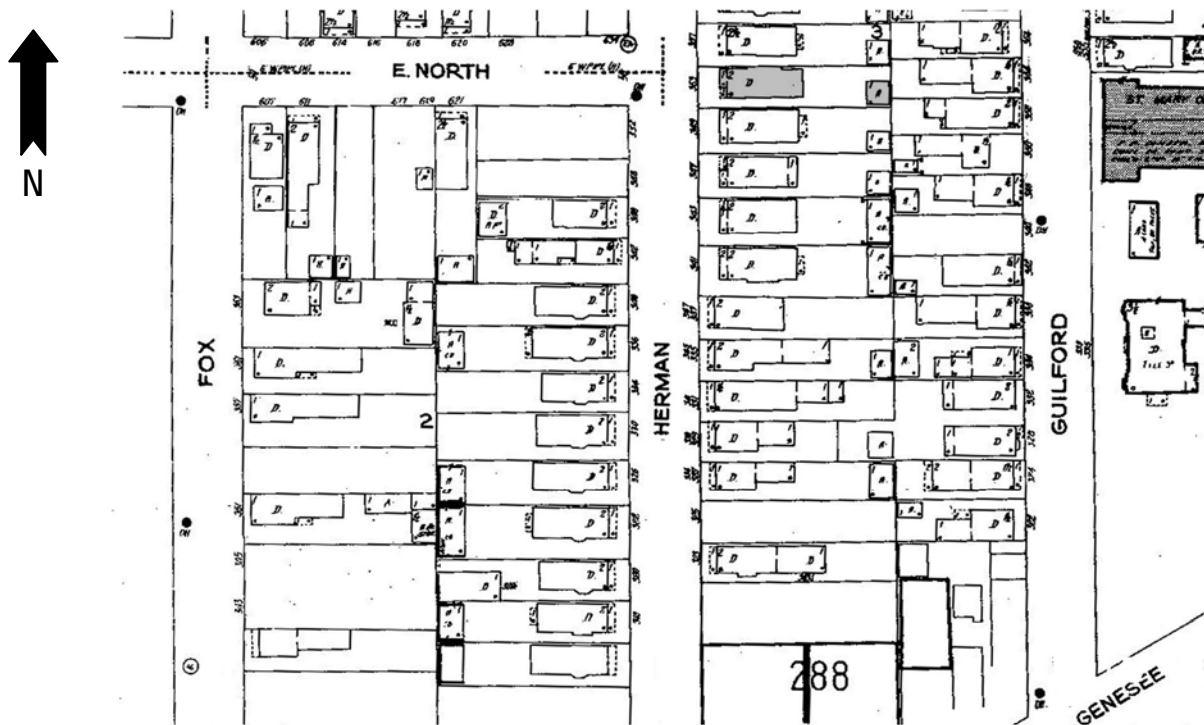
The single-family house at **353 Herman Street** is located on the east side of the street, between Genesee and E. North streets. Herman Street is a four-block long, north-south, residential street extending from Broadway to Best Street. The property is located in the northwestern corner of the Broadway-Fillmore neighborhood.

A two-story, hipped-roof, frame building with Craftsman detailing. It has a rectangular plan and is set on a brick and poured concrete block foundation. The façade has a cutaway porch with brick corner pier in the south bay and a partial living porch. The upper façade has an open porch with replacement wooden balustrade and an entrance in the south bay. Exterior fabrics of the main block are clapboard on the lower floor and wood shingles on the upper floor. Fenestration is three-over-one, double-hung wood sash. A hipped dormer with a quadruple window grouping of one-over-one, double-hung sash rests on the front slope. A two-story, rectangular oriel is located on the north elevation. A brick chimney rests near-ridge on the front north slope. A detached, hipped-roof, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **353 Herman Street** is significant as a good representative example of a Craftsman residence that was constructed in the mid-1920s in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 401 Herman Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

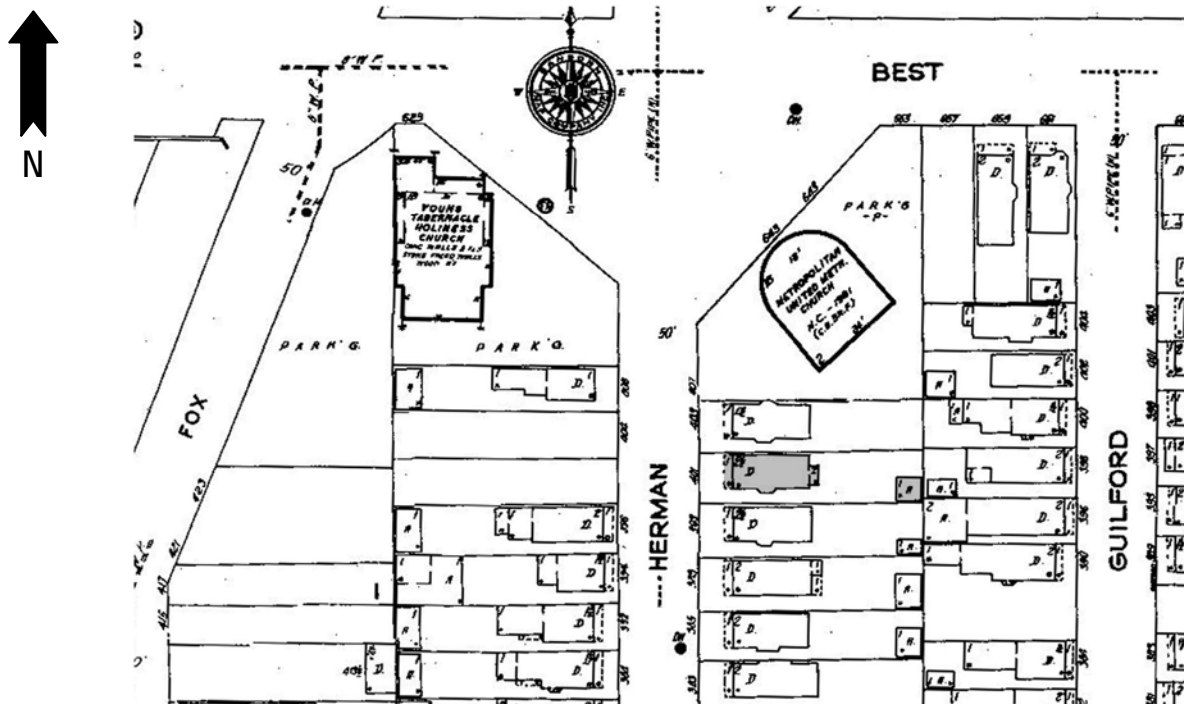
The two-family house at **401 Herman Street** is located on the east side of the street, between E. North and Best streets. Herman Street is a four-block long, north-south residential street extending from Broadway to Best Street. The property is located in the northwestern corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a full-width porch with a limestone block foundation punctuated by a round-arch opening with voussoirs. The porch features square columns and a solid rail sheathed with wood shingles. Two entrance doors are located in the north bay. Fenestration is fixed Queen Anne-type with header and one-over-one-double-hung wood sash. Exterior fabric is clapboard. The gable peak has a pent over a triple window opening and is sheathed with wood shingle. The south elevation has a full-height, polygonal bay and a side entrance with canopy. A brick chimney rests on the front south slope. A detached, hipped-roof, single-bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 401 Herman Street is significant as a good representative example of a multiple-family residence with Craftsman elements constructed in the ca. 1910 in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 287



PHOTOGRAPH: (Broadway-Fillmore R-3; N-15)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) A. L. Weber Building

Address or Street Location 630 High Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial Current use Commercial

Architect/Builder, if known Joseph J. Geigand, architect Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☒ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The commercial building at **630 High Street** is located on the north side of the street, at the eastern terminus of High Street at Herman Street. This section of High Street is primarily commercial.

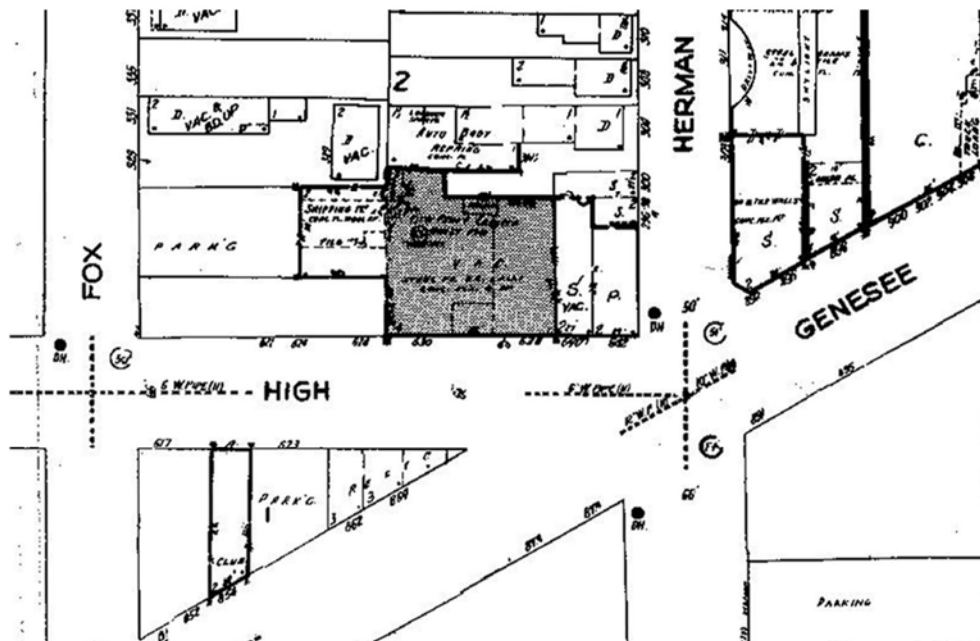
A four-story, two-part commercial building with a steel frame and a brick veneer. The storefront of the south façade has been altered. The upper façade is divided by full-height pilasters capped by ornate stone capitals; into three bays (6 X 3 X 6). Fenestration is symmetrical with the upper façade retaining its original wood sash. The façade features a heavy cornice with modillion course. The parapet has copper urns and contains the dates of the company's founding and the date of this building. A two-story, brick addition is attached to the west side of the building.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The A. L. Weber Building at 630 High Street is significant as a good representative example of an architect-designed, early twentieth century commercial building in Broadway-Fillmore neighborhood. It was built to the designs of local architect Joseph J. Geigand as a store building for the A. L. Weber Co., dealers in furniture and stoves. The company was founded in 1888. The building has retains much of its architectural details, such as its original windows and copper work.

Geigand was one of a few architects of German extraction who practiced on the East Side of Buffalo. He designed a number of buildings associated with the German-American community of Buffalo. One of his other notable works in the Broadway-Fillmore neighborhood is St. Mary of Sorrows Rectory at 333 Guilford Street.

MAP: Sanborn Map (Revised 1986) – Plate 288



PHOTOGRAPH: (Broadway-Fillmore R-2; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 50 Houghton Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **50 Houghton Street** is located on the west side of the street. Houghton Street is a one-block long residential, north-south street extending from Memorial Drive to Broadway. The former New York Central Terminal complex is located a few blocks to the south. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch with a rusticated concrete block foundation and pedestals, a solid wooden replacement rail, battered square piers, and a wood-shingled pediment. The entry door is located in the north bay and a triple window grouping with leaded glass headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns. Extending west from the west end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 50 Houghton Street is significant as a good representative example of a Craftsman, extended workers' cottage constructed in the first decade of the twentieth century in the Broadway-Fillmore Avenue. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 65 Houghton Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple -family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **65 Houghton Street** is located east side of the street. Houghton Street is a one-block long residential, north-south street extending from Memorial Drive to Broadway. The former New York Central Terminal complex is located a few blocks to the south. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with replacement metal supports and rail, and a wood-shingled pediment. The entry door is located in the north bay and a triple window grouping with leaded glass headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 65 Houghton Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 73 Houghton Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **73 Houghton Street** is located on the east side of the street, and borders commercial properties along Broadway. Houghton Street is a one-block long residential, north-south street extending from Memorial Drive to Broadway. The former New York Central Terminal complex is located a few blocks to the south. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch with replacement wooden posts and rail, and a wood-shingled pediment. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards and Eastlake saw tooth molding. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 73 Houghton Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 77 Kosciusko Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☐ fair ☒ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

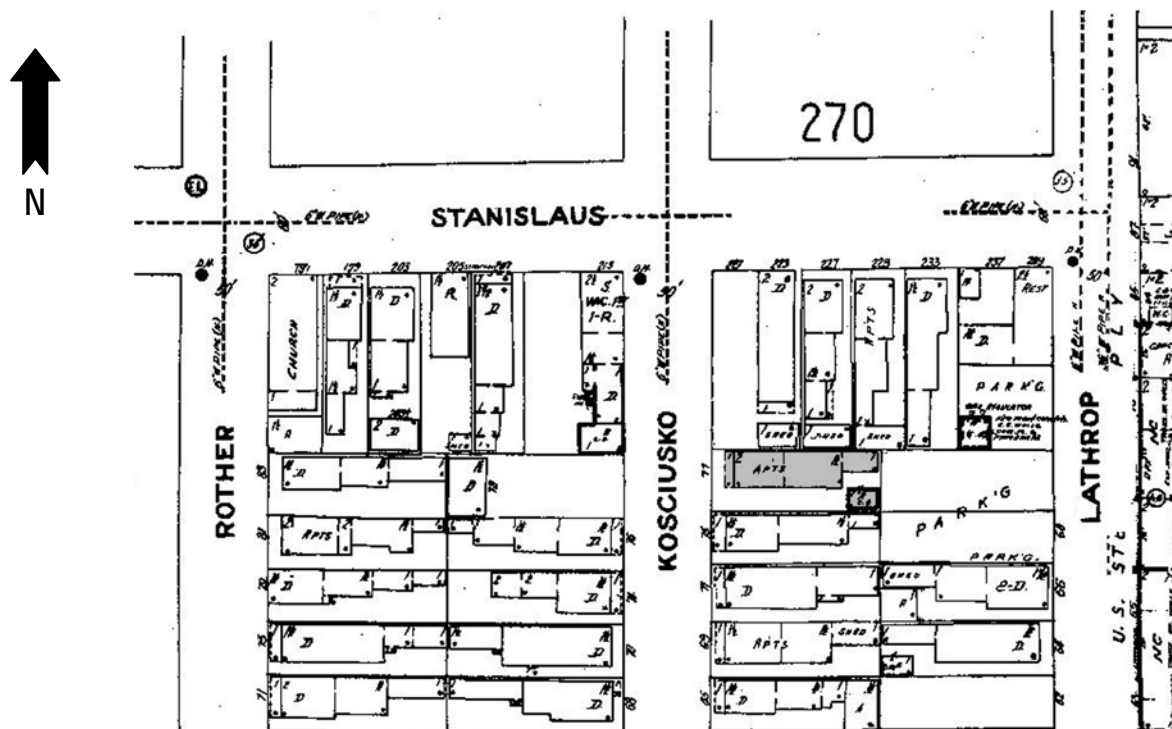
The vacant house at **77 Kosciusko Street** is located on the east side of the street, just south of Stanislaus Street. Kosciusko Street is a two-block long, north-south residential street extending from Broadway to Sycamore Street. The property is located in the eastern section of the Broadway-Fillmore neighborhood. Industrial properties and railroad right-of-ways are located on the next block to the east, on Lathrop Street. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman porch with a rusticated concrete block foundation and pedestals, square battered piers, a replacement rail, and rafter ends at the roofline. The entry door is located in the north bay, it is presently boarded. Exterior wall fabric is clapboard. Window openings are damaged or boarded. The gable end has corner boards, a band of imbricated wood shingles, cornice returns and wood shingles in the gable peak. A gabled wall dormer with cornice returns and a side entrance with hood are located on the south elevation. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block. A detached, single-bay garage with hipped-roof stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 77 Kosciusko Street is significant as a good representative example of a Craftsman, extended workers' cottage constructed in the first decade of the twentieth century in the Broadway-Fillmore Avenue. It was built for S. Fleischmann. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 257



PHOTOGRAPH: (Broadway-Fillmore R-9; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 117 Kosciusko Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

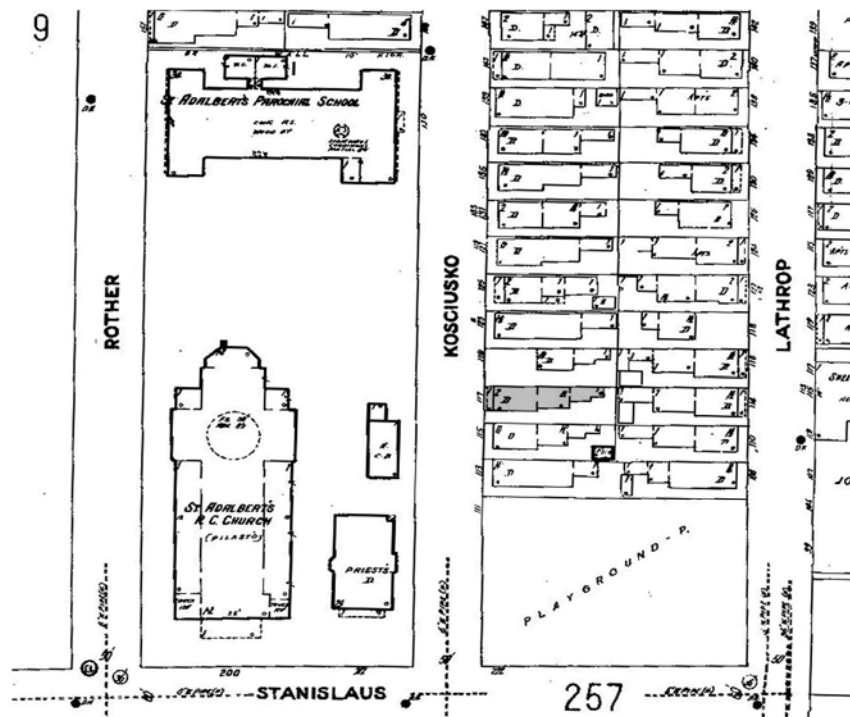
The single-family house at **117 Kosciusko Street** is located on the east side of the street, just north of Stanislaus Street. Kosciusko Street is a two-block long, north-south residential street extending from Broadway to Sycamore Street. The property is located in the eastern section of the Broadway-Fillmore neighborhood. St. Adalbert's Church Complex occupies the lot on the west side of the street. Industrial properties and railroad right-of-ways are located on the next block to the east, on Lathrop Street.

A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and vinyl siding in the gable end. The façade has a full-width porch with slender Doric-type columns, a replacement wooden rail and a pediment above the entry. The entrance is located in the north bay. Fenestration is symmetrical featuring one-over-one double-hung sash. The gable end features a paired window grouping. A one-story addition extends east from the east end of the main block. Brick chimneys rest on the roof ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 117 Kosciusko Street is significant as a good representative example of an early twentieth century workers' cottage. It was built for Telka Marczynski, who moved the earlier house to the rear at the same time. This type of house could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 270



PHOTOGRAPH: (Broadway-Fillmore R-9; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) C. F. Ernst's Sons Iron Works

Address or Street Location 53 Lathrop Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1900 to 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The industrial complex at **53 Lathrop Street** is located on the east side of the street, and borders the railroad right of way to the east. Lathrop Street is a three-block long, north-south street extending from Broadway to Walden Avenue. It is comprised of industrial properties and residences.

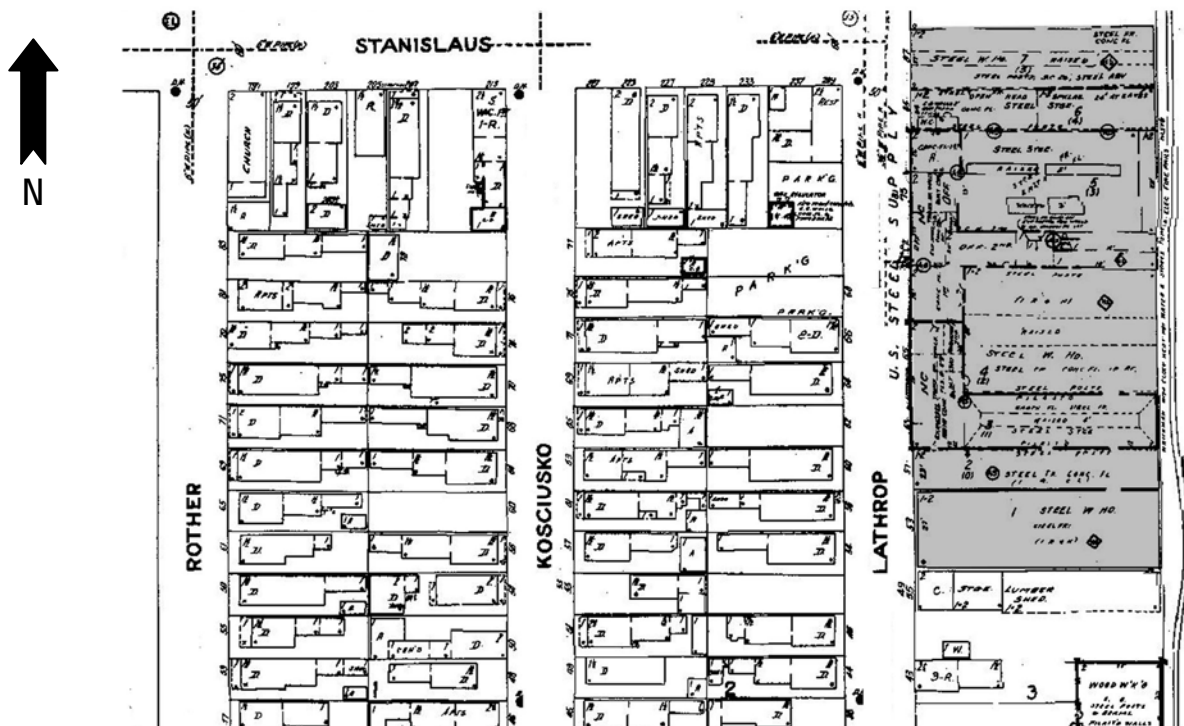
This sprawling complex was constructed in sections and includes examples of both early- and mid-twentieth century industrial buildings. The central structures were built between 1900 and 1919; the brick buildings facing Lathrop Street were built in 1909-1910. The plant was considerably enlarged during and immediately after World War II, with the large metal buildings north and south of the original complex.

A series of attached, two-story, brick buildings front Lathrop Street. Steel frame warehouses with monitor roofs are oriented east-west.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 53 Lathrop Street is significant as a good representative example of an early twentieth century industrial complex constructed in the Broadway-Fillmore neighborhood. It was built in sections for C. F. Ernst's Sons Iron Works. The central structures were built between 1900 and 1919; the brick buildings facing Lathrop Street were built in 1909-1910. The plant was considerably enlarged during and immediately after World War II, with the large metal buildings north and south of the original complex. The company was sold to US Steel Corp. in 1968, and is now closed.

MAP: Sanborn Map (Revised 1986) – Plate 257



PHOTOGRAPH: (Broadway-Fillmore R-15; N-17,18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 127 Lathrop Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

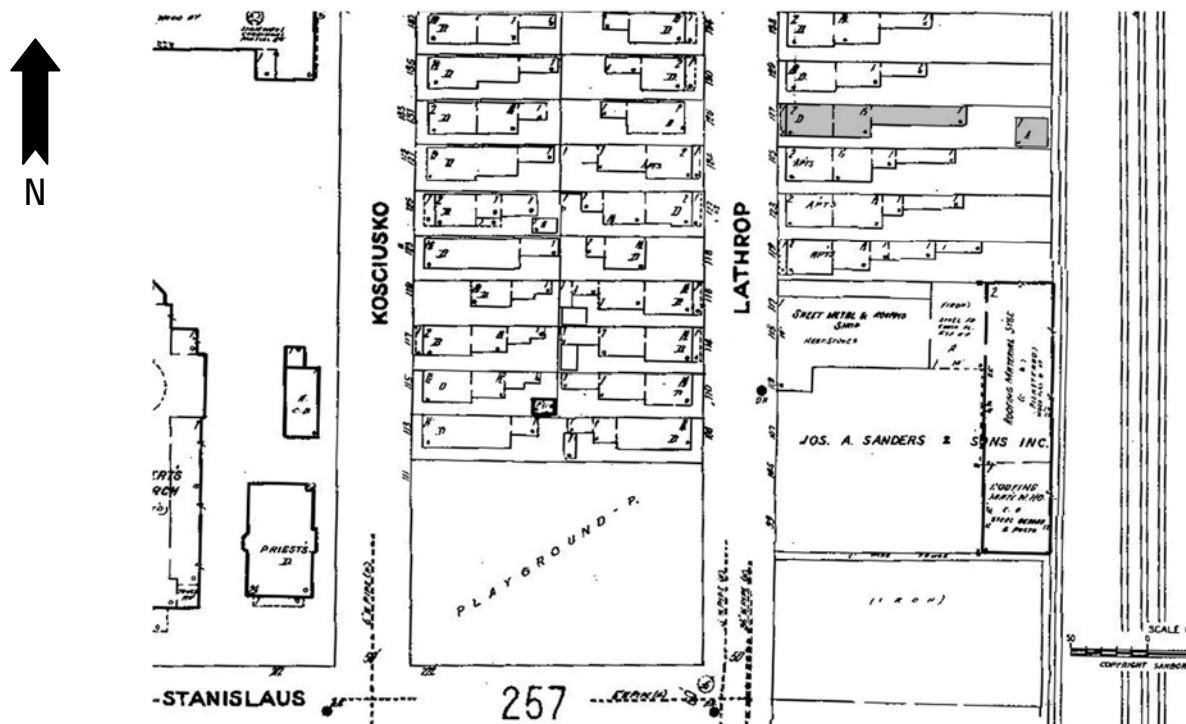
The single-family house at **127 Lathrop Street** is located on the east side of the street, and borders the railroad right of way to the east. Lathrop Street is a three-block long, north-south street extending from Broadway to Walden Avenue. This street is comprised of industrial properties and residences. The railroad right-of-way runs along the eastern edge of the lot. A vacant lot borders the property to the south.

A two-story, front-gabled frame building with a Craftsman porch. It has a rectangular plan and no foundation. The façade has a full-width porch with square battered columns set on a wood shingled platform, an open wooden rail and a hipped roof. The entrance is located in the north bay. Fenestration is one-over-one double-hung wood sash. Exterior fabric is clapboard. The upper façade window openings have metal awnings. A one-and-one-half story addition with entrance on south elevation, and a one-story addition extend east from the east end of the main block. Brick chimneys rest on the center ridge of the main block and rear additions. A detached, hipped-roof garage with an attached flat-roofed, single bay garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 127 Lathrop Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 270



PHOTOGRAPH: (Broadway-Fillmore R-9; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) Lumen Bearing Company Brass Foundry

Address or Street Location 197 Lathrop Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Industrial Current use Vacant

Architect/Builder, if known Colson & Hudson Date of construction, if known ca. 1900 to 1919

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: sawtooth monitor roof

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

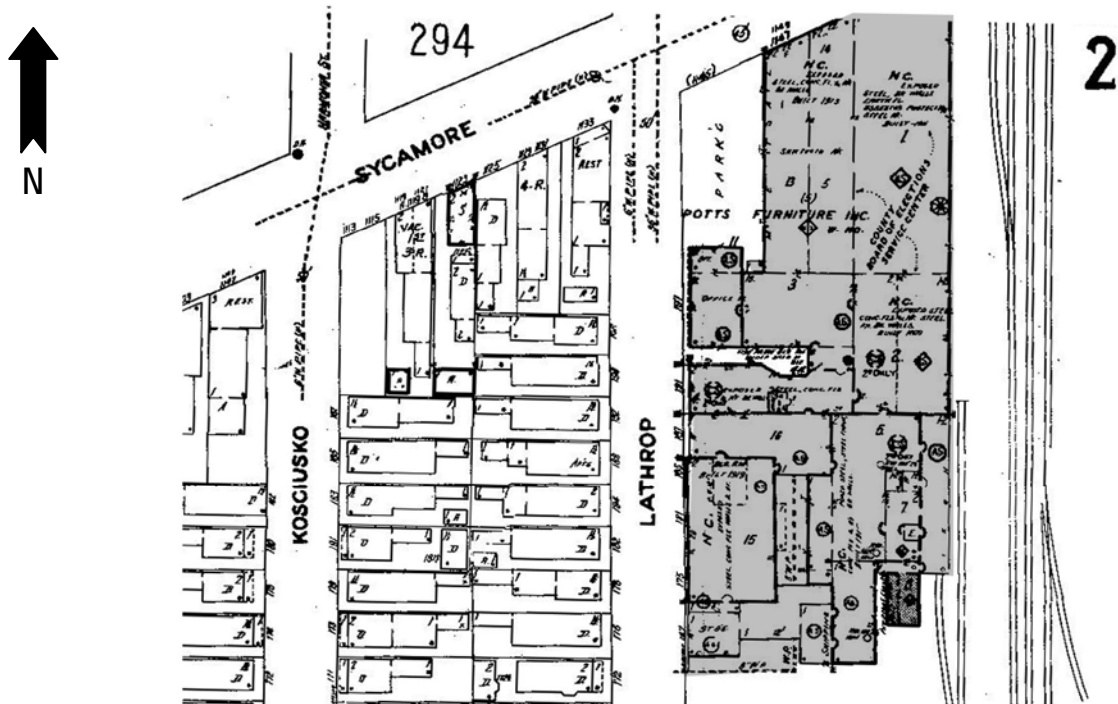
The industrial complex at **197 Lathrop Street** occupies the northern section of the block between Lathrop Street and the railroad right-of-way on the south side of Sycamore Street. Lathrop Street is a three-block long, north-south street extending from Broadway to Walden Avenue. This mixed-use street is comprised of industrial properties and residences. The railroad right-of-way runs along the eastern edge of the lot. A vacant lot borders the property to the south.

An early twentieth century industrial complex comprised of a network of one- and two- story buildings of brick and steel construction.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The Lumen Bearing Company Brass Foundry complex at 197 Lathrop Street is significant as a good representative example of an industrial complex constructed in the early twentieth century in the Broadway-Fillmore neighborhood. It was built over two decades as the plant of the Lumen Bearing Co., a brass foundry. Some of the buildings in this complex were designed by Colson & Hudson. Last used as the Potts Furniture warehouse, the complex is now vacant.

MAP: Sanborn Map (Revised 1986) – Plate 270



PHOTOGRAPH: (Broadway-Fillmore R-9; N-5,6,7)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 302 Lathrop Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

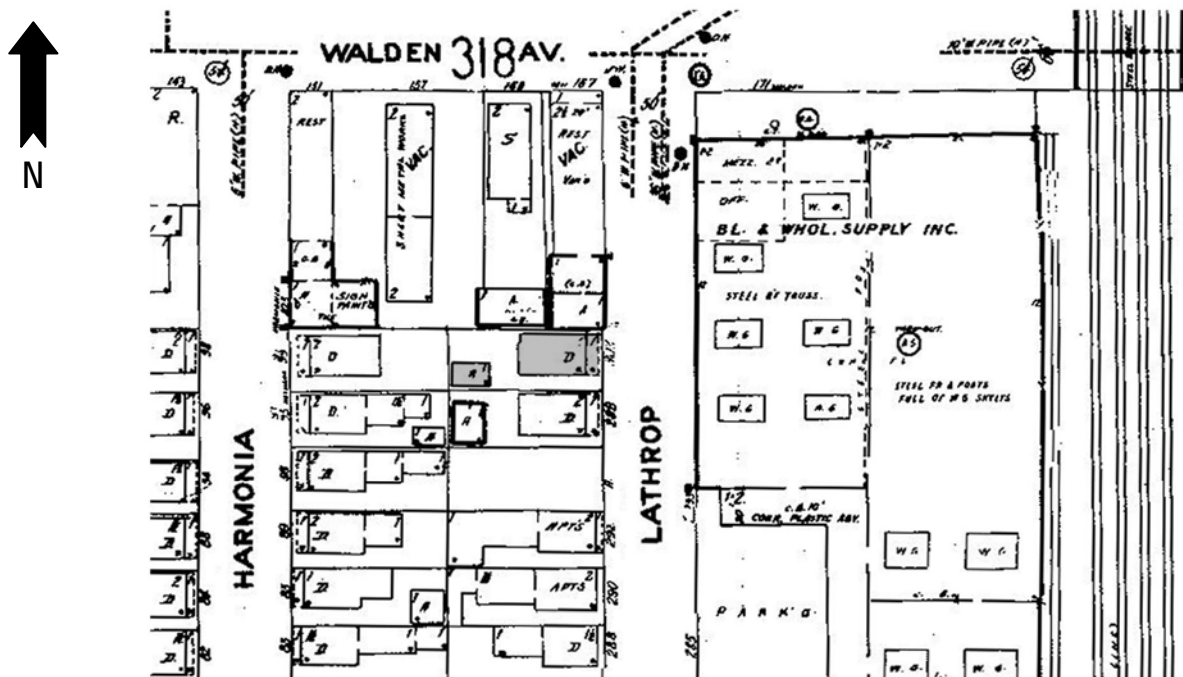
The multiple-family house at **302 Lathrop Street** is located on the west side of the street, just south of Walden Avenue. Lathrop Street is a three-block long, north-south street extending from Broadway to Walden Avenue. This street is comprised of industrial properties and residences.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a rectangular plan and a rusticated concrete block foundation. The façade has a full-width porch with square columns, a replacement metal rail, and a wood shingled pediment. The entrance door is located in the north bay. Fenestration is three-over-one-double-hung wood sash. Exterior fabric is clapboard. The gable peak has a triple window grouping and is sheathed with wood shingles. The south elevation has a side entrance.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 302 Lathrop Street is significant as a good representative example of an early twentieth century, Craftsman workers' cottage. It was built as a two-family dwelling for S. N. Rozek, who built 298 Lathrop at the same time. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-9; N-9)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 38 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

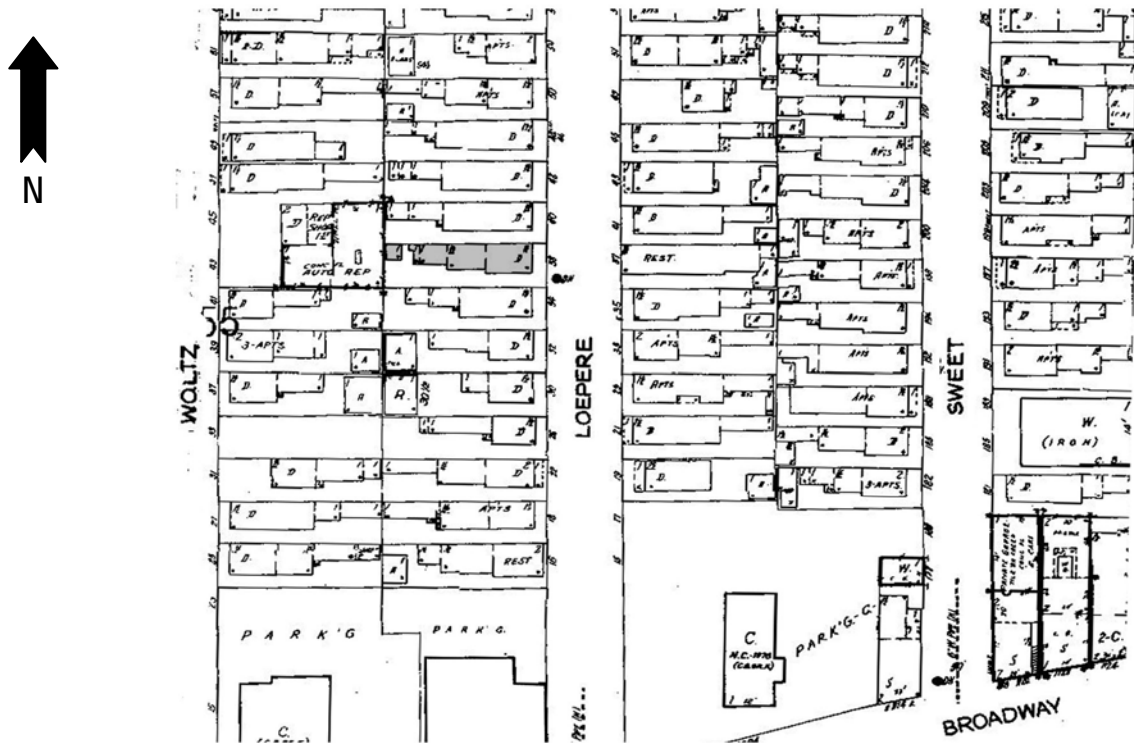
The single-family house at **38 Loepere Street** is located on the west side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entrance in the north bay. Exterior wall fabric is clapboard. Window and door openings on the ground floor have been boarded. The gable end has corner boards, a wide frieze under the raking cornice and a pair of window with one-over-one- double-hung wood sash and plain hoods. Extending west from the west end of the main block are one-and-one-half story and a one-story, gabled-roof additions with entries on the south elevation. A brick chimney rests on the center ridge of the main block and rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 38 Loepere Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-29)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 49 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

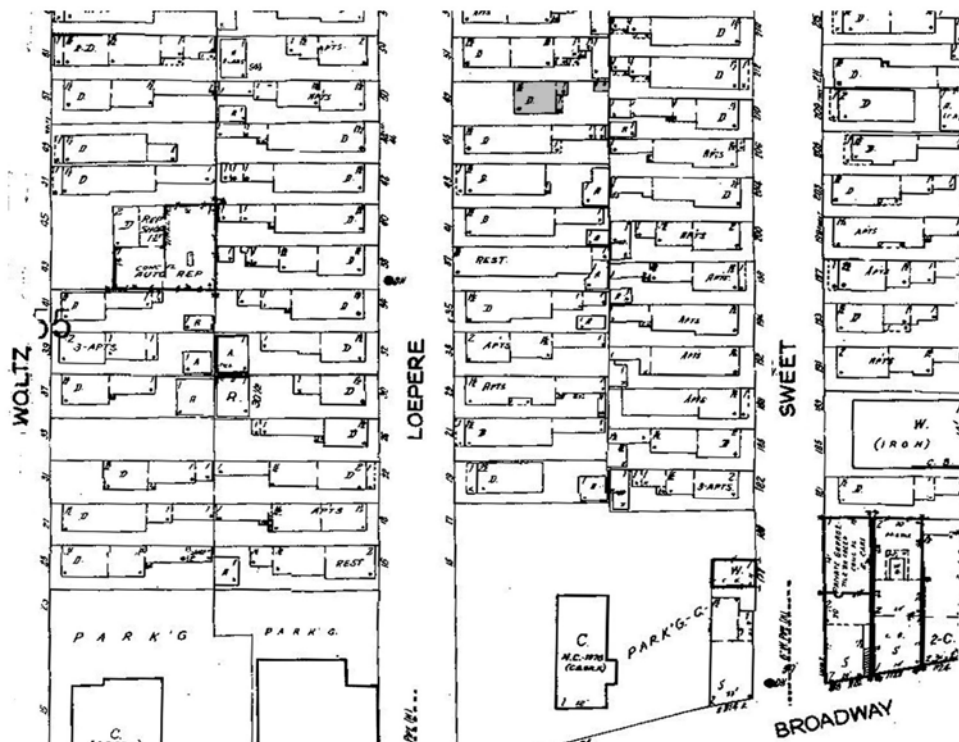
The single-family house at **49 Loepere Street** is located on the east side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame workers' cottage with no foundation. It has a rectangular plan. The building appears to not have been completed, and represents only the rear additions. The entrance is located to the rear, on the east elevation of the main block. Exterior wall fabric is clapboard. The façade has two window openings with two-over-two-double-hung wood sash on the ground floor and the gable peak has a small window opening with similar sash. A brick chimney rests on the center ridge of the main block and rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 49 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-28)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 50 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

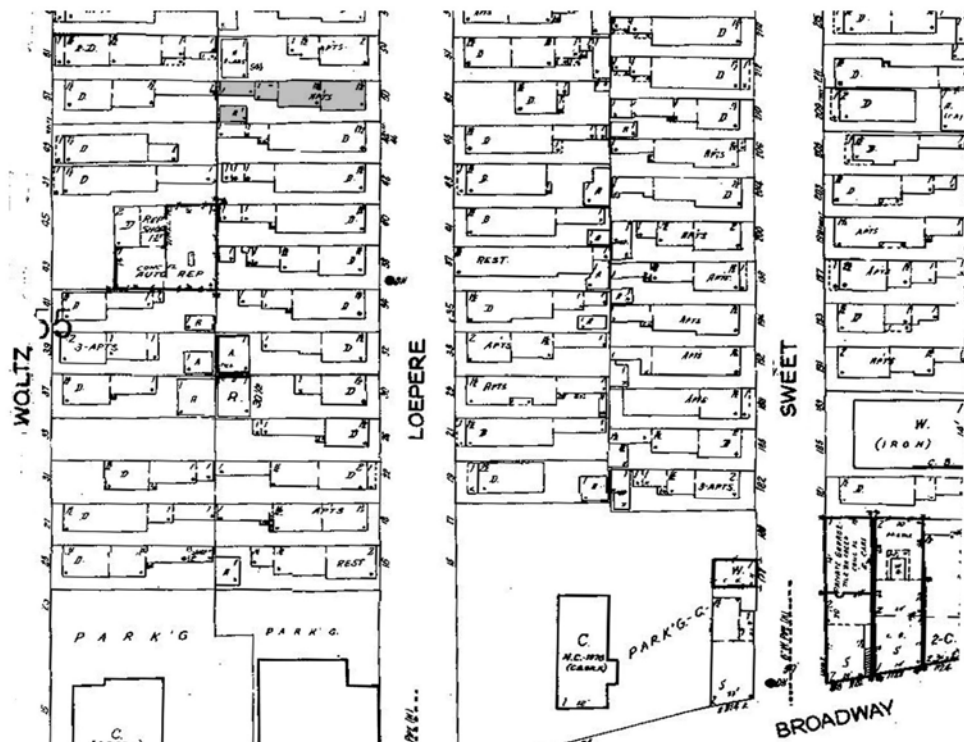
The multiple-family house at **50 Loepere Street** is located on the west side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan and no basement. Exterior wall fabric is clapboard. The façade has a paired entrance with entry porch in the north bay and a triple window grouping with headers with three lights. The gable end has corner boards, a paired window grouping with leaded glass in the upper sash, and Eastlake sawtooth molding. Fenestration is one-over-one double-hung wood sash on the side elevations. Shed dormers are rest on the south and north slopes of the main block. Two rear additions extend west from the west end of the main block. Brick chimneys rest on the center ridge of the main block and rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 50 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-27)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 92 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Craftsman porch Date: 1922

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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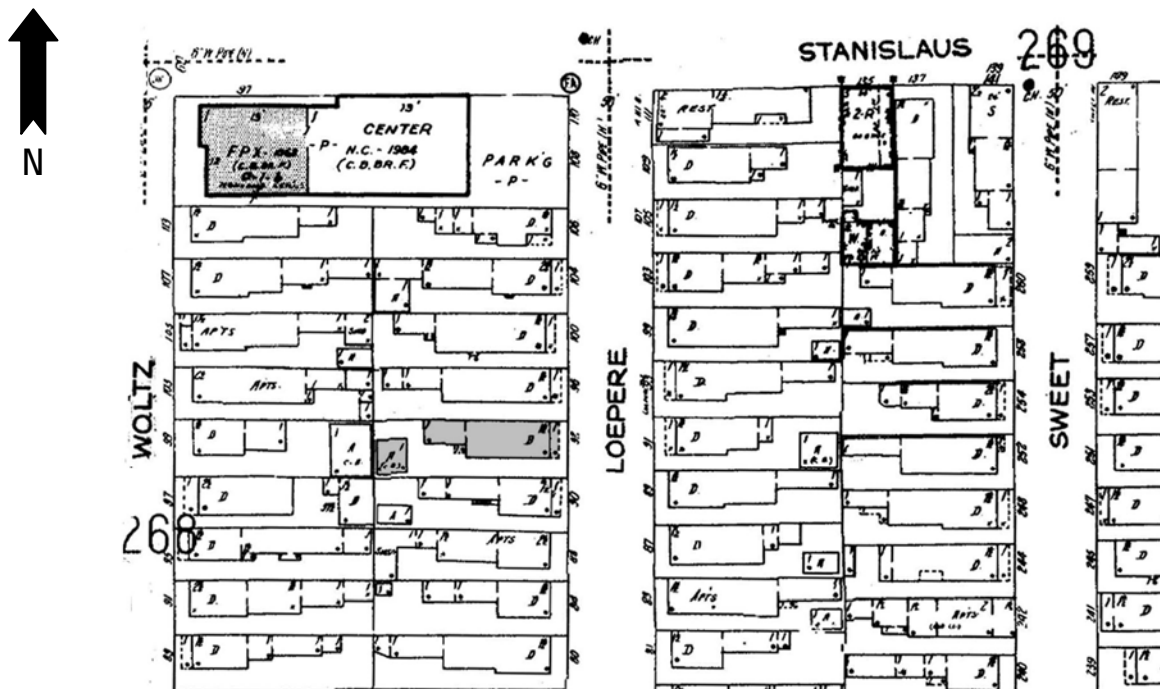
The multiple-family house at **92 Loepere Street** is located on the west side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, frame workers' cottage with a steeply-pitched, front-gabled roof and foundation. It has a rectangular plan. The façade has a full-width, Craftsman-porch that includes square columns, an open wooden rail, and a wood-shingled pediment with brackets. The main entrance is set in the north bay and a triple window grouping with leaded glass headers is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance with bracketed canopy. A one-story addition extends west from the west end of the main block. Two brick chimneys rest on the ridge of the main block. A detached, concrete block garage with hipped-roof stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 92 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. (Porch added in 1922). This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-26)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 96 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

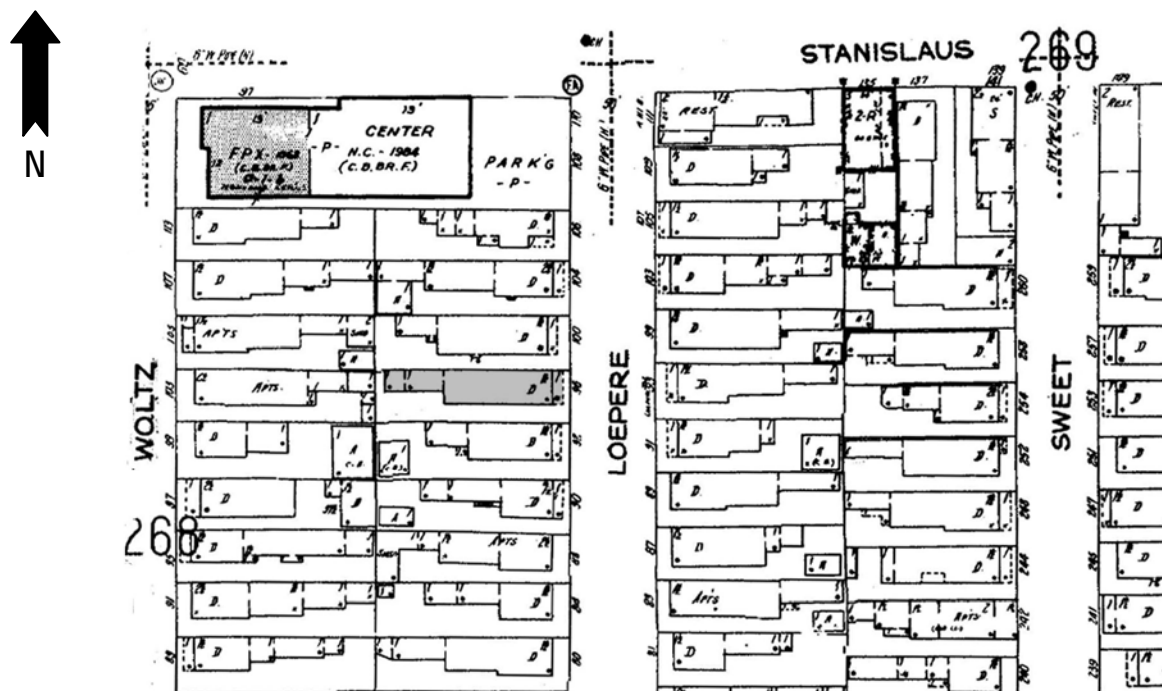
The single-family house at **96 Loepere Street** is located on the west side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, frame, extended workers' cottage with a front-gabled roof. It has a rectangular plan. The façade has a full-width Craftsman-detailed porch that includes a rusticated concrete block foundation and pedestals, battered square columns, a removed porch rail, and a wood-shingled pediment with exposed rafter tail ends. The main entrance is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Corner boards and a wide frieze accent the gable end. The south elevation has a side entrance. Two, one-story additions extend west from the west end of the main block. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 96 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-25)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 100 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

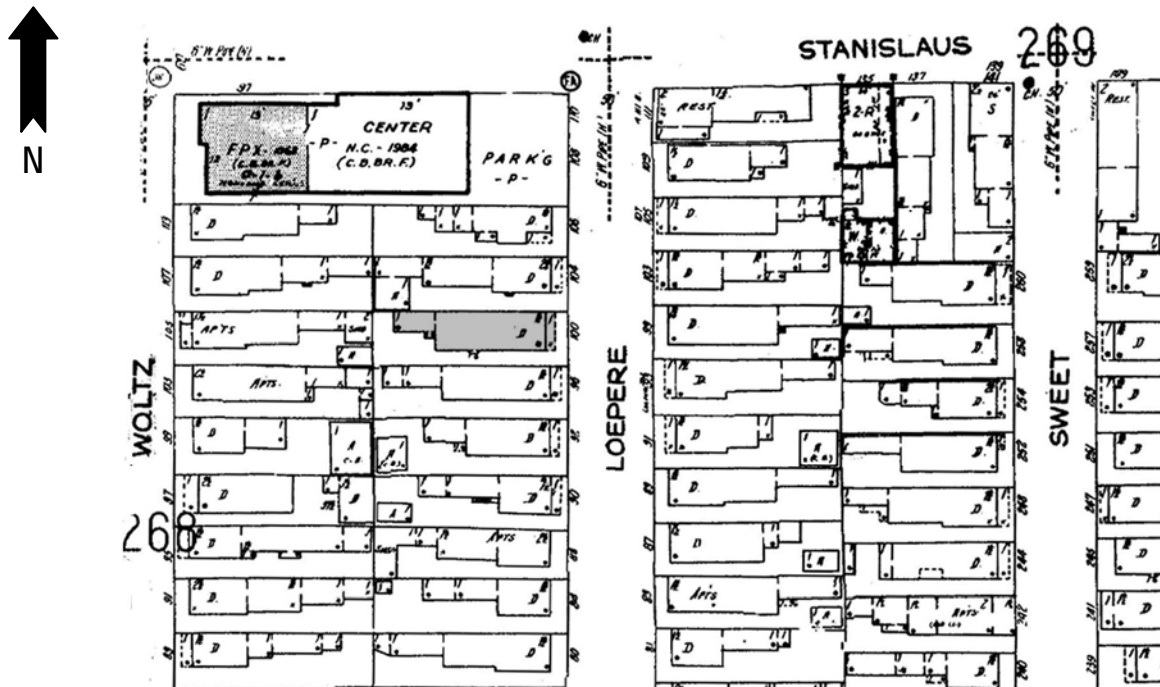
The single-family house at **100 Loepere Street** is located on the west side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, frame, extended workers' cottage with a front-gabled roof and no foundation. It has a rectangular plan. The façade has a full-width Craftsman-detailed porch that includes a rusticated concrete block foundation and pedestals, battered square columns, an open wooden-rail, and a wood-shingled pediment. The main entrance is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Corner boards and a wide frieze accent the gable end. The south elevation has a side entrance. A one-story addition extends west from the west end of the main block. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 100 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-24)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 104 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Front addition Date: 1910

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

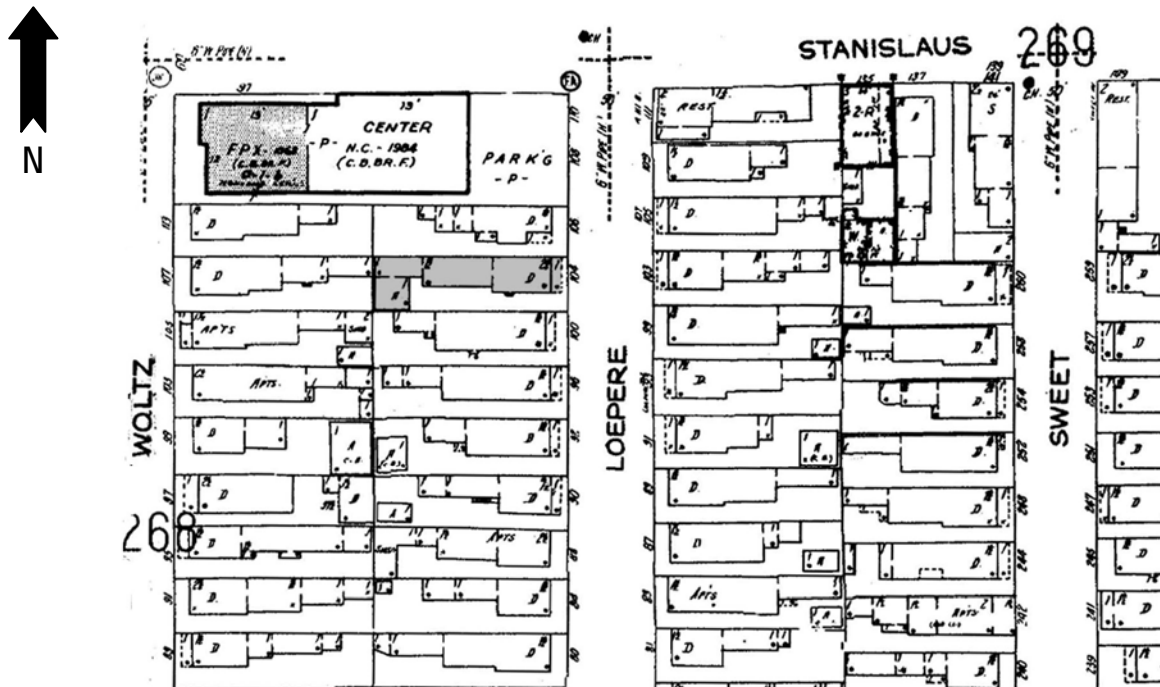
The multiple-family house at **104 Loepere Street** is located on the west side of the street, between Broadway and Stanislaus Street. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame, vernacular residence. It has a rectangular plan and is set on a rusticated block foundation. Exterior wall fabrics are clapboard on the main block and wood shingle in the gable end. The façade has a full-width porch with square columns, and an open wooden rail. The entrance is located in the north bay and a triple window grouping is set in the south bay. Fenestration is symmetrical featuring one-over-one double-hung sash. The upper façade has an open porch with wooden balustrade, an entrance in the north bay and a polygonal oriel in the south bay. The gable end features corner boards and bands of imbricated shingles. A polygonal oriel is located on the south elevation of the main block. A one-and-one-half-story and a one-story addition extend west from the west end of the main block. Brick chimneys rest on the roof ridges. A detached, gabled-roof garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 104 Loepere Street is significant as a good representative example of an expanded, two-and-one-half-story late nineteenth century workers' cottage. The earlier rear section received a large front addition in 1910 for Lawrence Oeljnicky. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 256



PHOTOGRAPH: (Broadway-Fillmore R-8; N-23)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 134 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

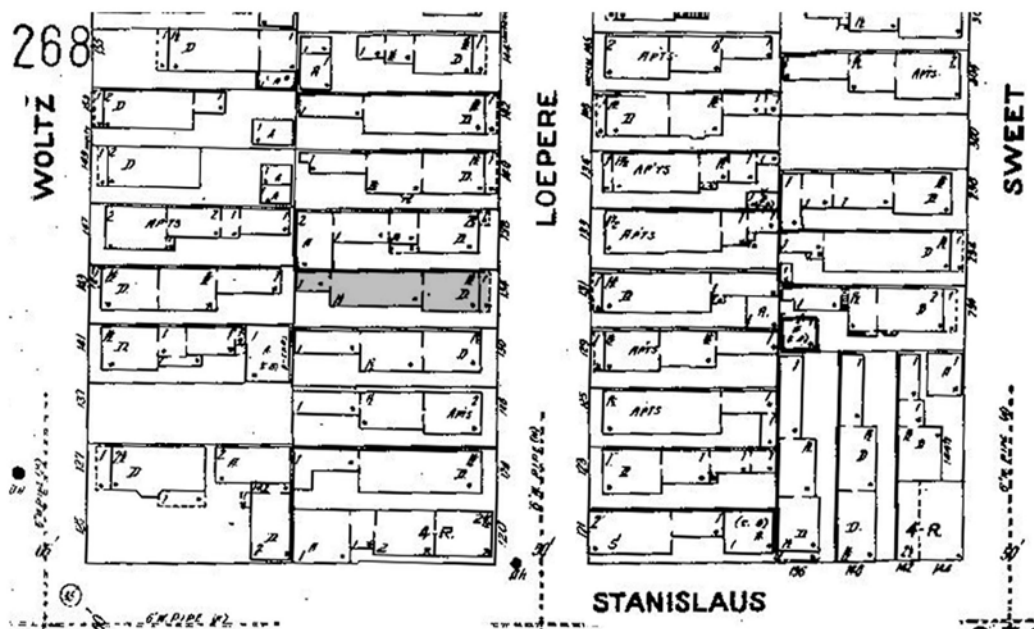
The multiple-family house at **134 Loepere Street** is located on the west side of the street, between Stanislaus and Sycamore streets. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with wood-shingled pedestals, square piers, an open wooden rail balusters, and a pediment over the entry. The entrance is located in the north bay and to the north is a fixed oval window. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards, cornice returns, wood trim, and imbricated wood shingles in the peak. A one-and-one-half-story and a one-story addition extend west from the west end of the main block. Brick chimneys rest on the roof ridges.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 134 Loepere Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. In 1906, Magdelene Zydlewaka added the front section to the earlier, set back house. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-8; N-22)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 143 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Addition Date: 1904

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

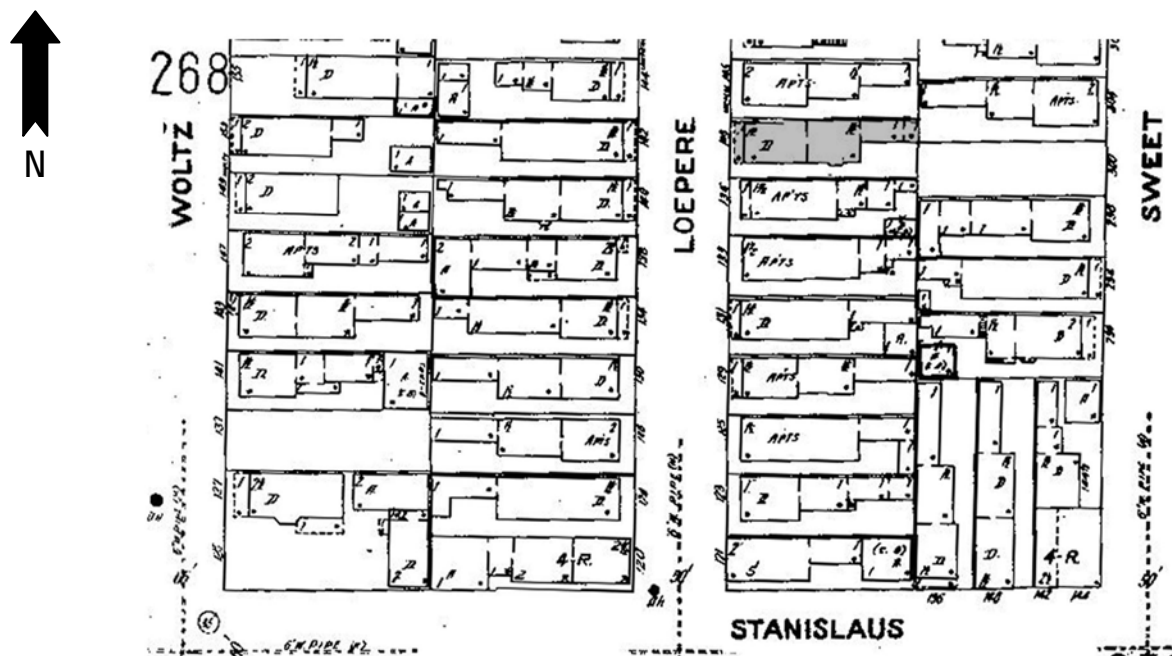
The single-family house at **143 Loepere Street** is located on the east side of the street, between Stanislaus and Sycamore streets. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with a rusticated concrete block foundation, battered paneled square columns, an open wooden rail, segmental-arched spandrels, and bracketed hipped roof-with wide eaves. The entry door with  $\frac{3}{4}$  sidelights is set in the north bay and a triple window grouping with leaded glass headers are in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards and Eastlake sawtooth molding. The south elevation has a side entrance with metal awning. A one-and-one-half-story and a one-story addition extend east from the east end of the main block. Brick chimneys rest on the roof ridges.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 143 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. This house received an addition in 1904 for Stanislaus Lewandowski. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-8; N-21)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 150 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known a. 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Enlarged Date: 1906, 1911

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

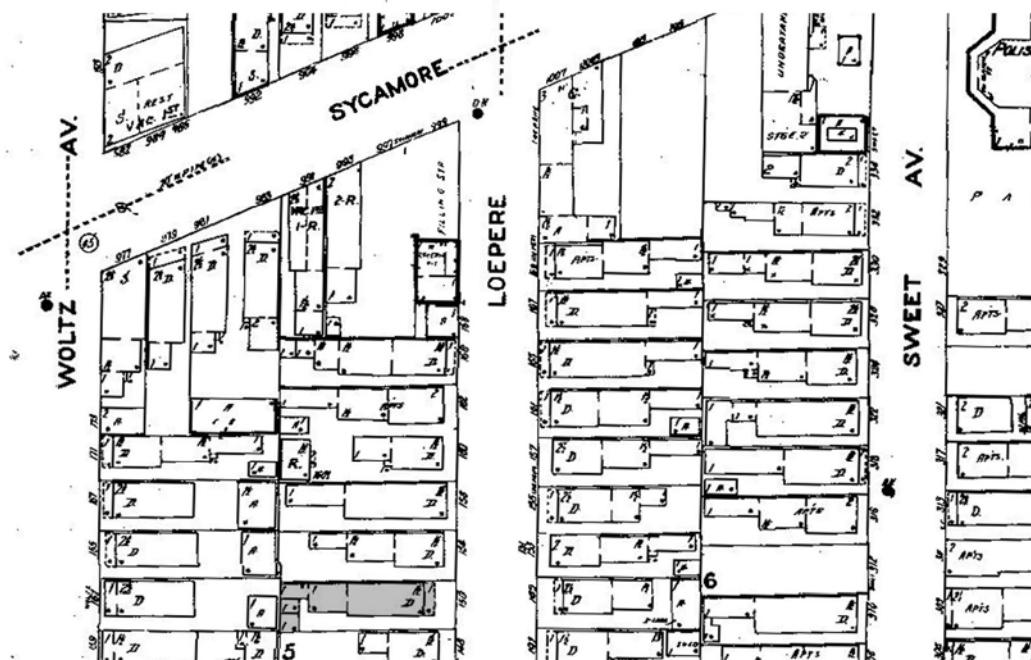
The multiple-family house at **150 Loeper Street** is located on the west side of the street, between Stanislaus and Sycamore streets. Loeper Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with square columns, an open wooden rail, and a pediment over the entry. The entrance is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards, and Eastlake sawtooth molding. The south elevation has a side entrance. A one-and-one-half-story and a one-story addition extend west from the west end of the main block. Brick chimneys rest on the roof ridges

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Loeper Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. Jacob Piechowak enlarged this house in 1906 and 1911. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-8; N-20)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 155 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1912

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Enlarged Date: 1908

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

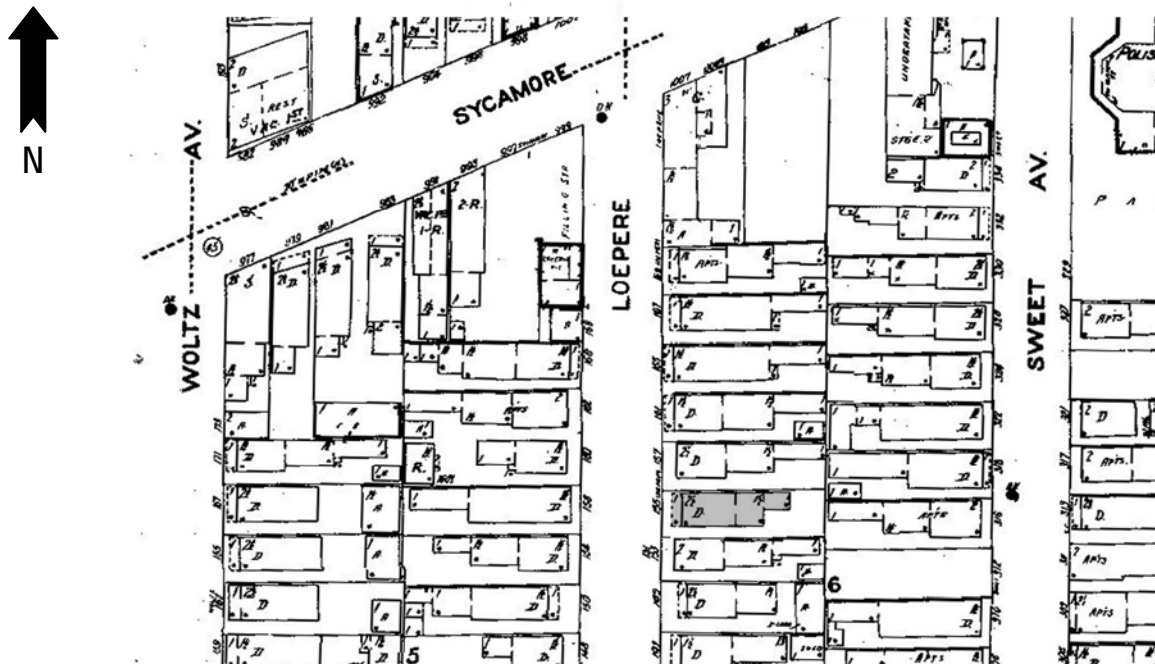
The building at **155 Loepere Street** is located on the east side of the street, between Stanislaus and Sycamore streets. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a full-width porch with battered, paneled square columns and an open wooden rail. The entrance door is located in the north bay. The lower façade openings have been boarded. The upper façade has an open porch with deteriorated balustrade, an entrance in the north bay, and a polygonal bay in the south bay. Fenestration is one-over-one, double-hung wood sash. Exterior fabric is clapboard. The gable peak is sheathed with wood shingle. A one-and-one-half-story and a one-story addition extend east from the east end of the main block. Brick chimneys rest on the roof ridges.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 155 Loepere Street is significant as a good representative example of an expanded, two-and-one-half-story, early twentieth century workers' cottage. This house was built for Joseph Czerwinski. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Broadway-Fillmore R-8; N-19)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 160 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☐ fair ☒ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

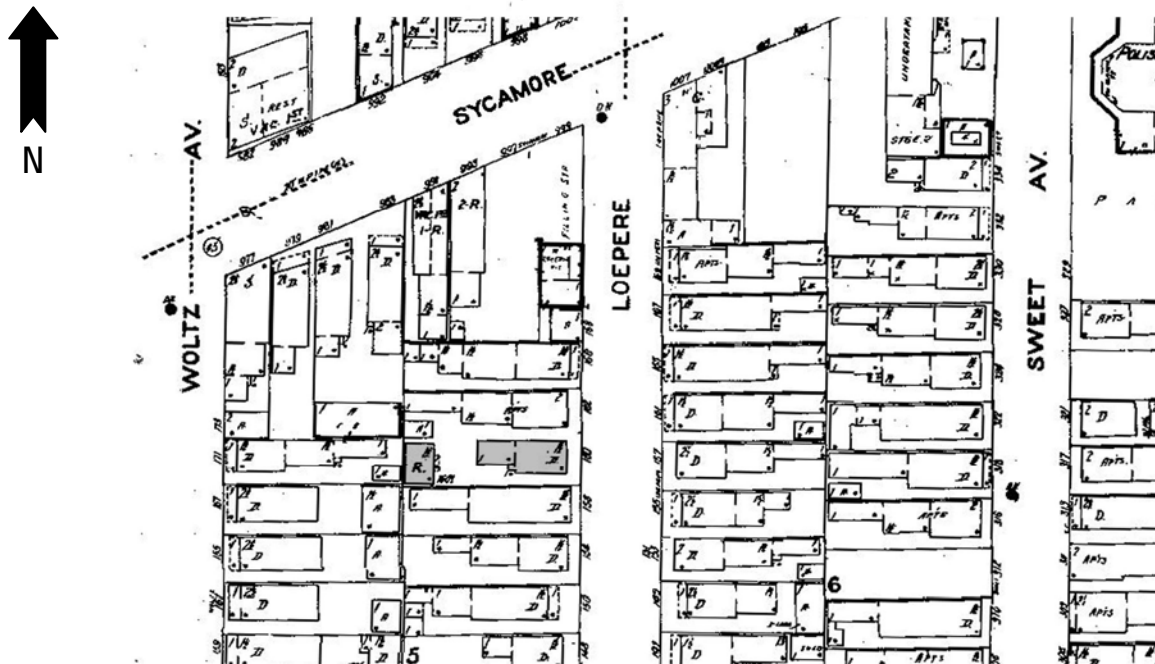
The building at **160 Loeper Street** is located on the west side of the street, between Stanislaus and Sycamore streets. Loeper Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. . The entry door is located in the north bay. Ground floor windows have been boarded.. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The first floor façade windows have the original leaded glass in the headers. Extending west from the west end of the main block is a one-story, gabled-roof addition with entrance on the south elevation. A brick chimney rests on the center ridge of the main block and rear addition. A detached garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 160 Loeper Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-8; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 165 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1899

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

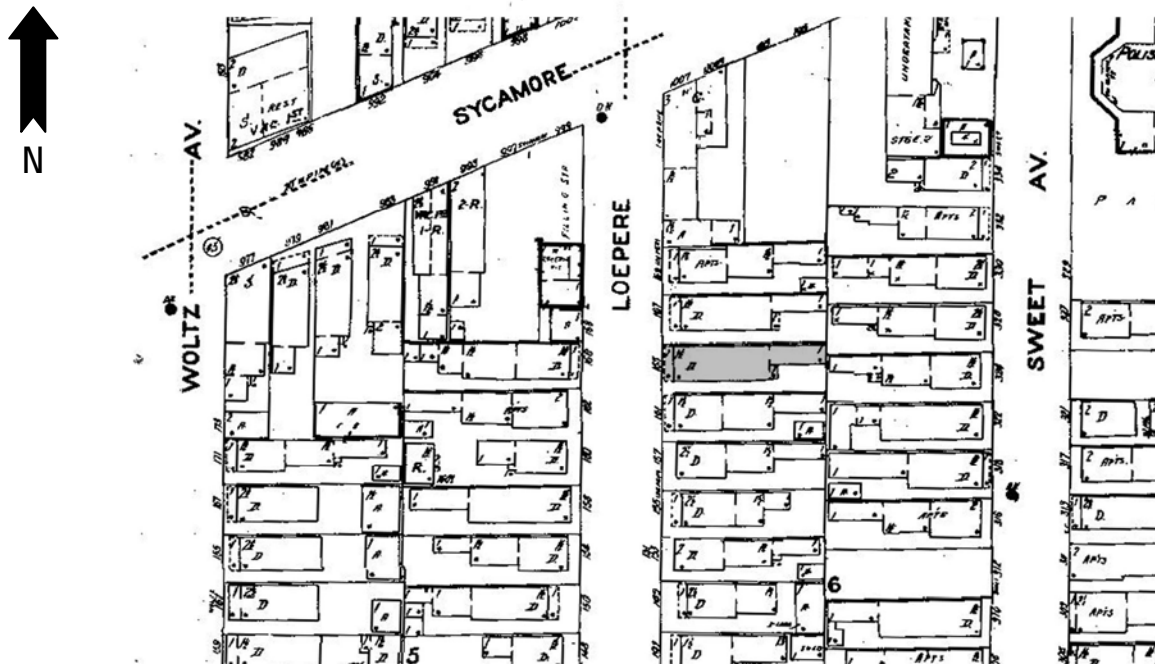
The multiple-family house at **165 Loepere Street** is located on the east side of the street, between Stanislaus and Sycamore streets. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch a rusticated concrete foundation and pedestals, battered paneled square piers, an open wooden rail, and a bracketed hipped roof. The entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition with entrance on the south elevation. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 165 Loepere Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. It was built for Joseph Kaminski. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-8; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 205 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows, enlarged (1908), porch (1936) Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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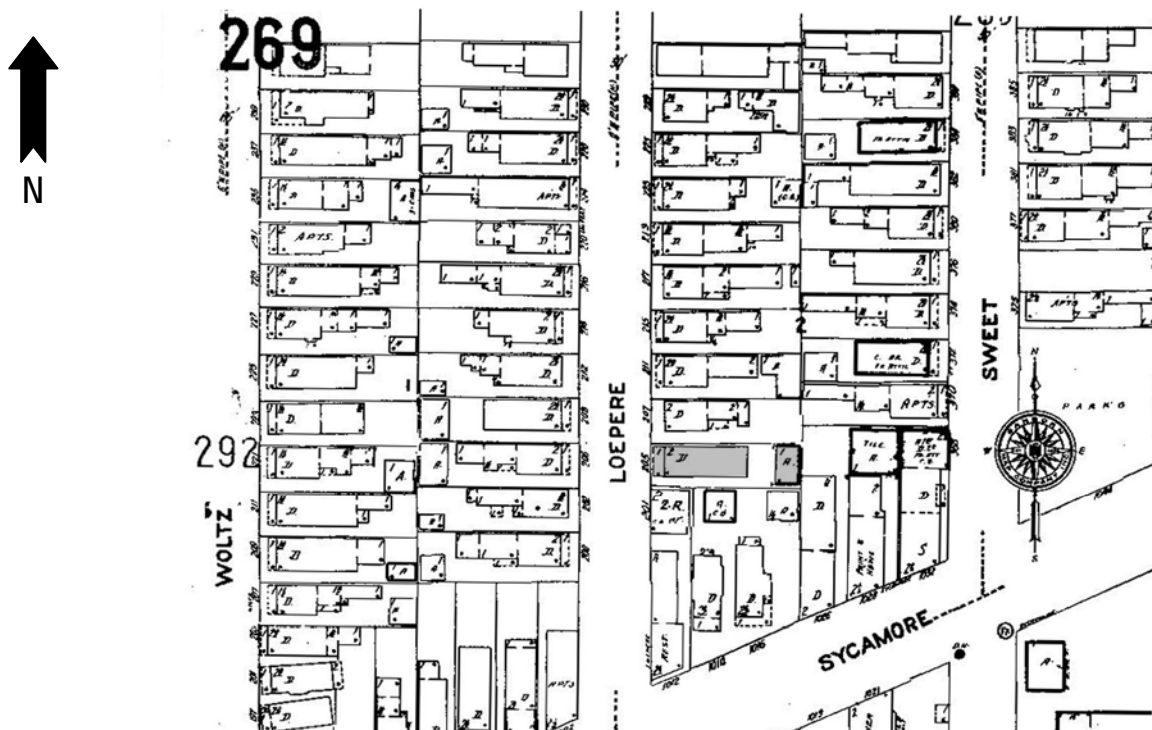
The multiple-family house at **205 Loepere Street** is located on the east side of the street, between Sycamore Street and Walden Avenue. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A two-story, hipped-roof, frame building with a Craftsman porch. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width porch with battered square piers and an open wooden rail. The entrance is located in the north bay and a triple window grouping is set in the south bay. Fenestration is one-over-one double-hung wood sash. Exterior fabric is clapboard ground floor and wood shingle on the upper floor. The upper façade has an open porch with replacement metal balustrade, an entrance in the north bay and a triple window opening in the south bay. A hipped dormer with a triple window grouping rests on the front slope. The south elevation has an oriel and an entrance. A brick chimney rests on the south slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 205 Loepere Street is significant as a good representative example of significant as a good representative example of an expanded, two-story late nineteenth century workers' cottage with a Craftsman porch. (The porch was added in 1936.) This house was enlarged for Joseph Schwab in 1908. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-8; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 224 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows, enlarged (1903) Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

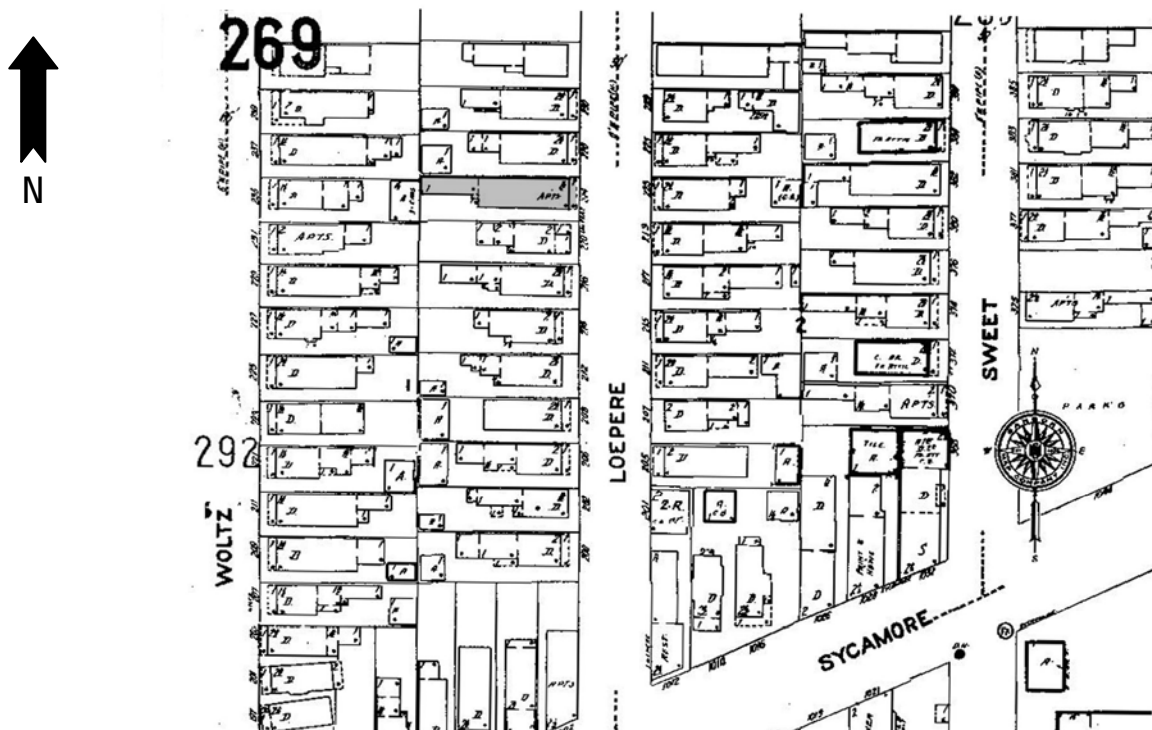
The multiple-family house at **224 Loepere Street** is located on the west side of the street, between Sycamore Street and Walden Avenue. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.

A one-and-one-half story, frame workers' cottage with a steeply-pitched front-gabled roof and no foundation. It has a rectangular plan. The façade has a full-width porch with a Craftsman-detailed porch that includes square, paneled columns, an open wooden rail, and a hipped roof with exposed rafter tail ends. The main entrance is set in the north bay. Exterior wall fabrics are wood shingle and clapboard. Fenestration is one-over-one, double-hung wood sash and casement. The gable end features two window openings with Eastlake hoods and surrounds. The south elevation has a side entrance and a series of three gabled wall dormers. Two brick chimneys rest on the ridge of the main block. A one-story addition extends west from the west end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 224 Loepere Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details and a Craftsman porch. The house was enlarged for Emil Kirshuer in 1903. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Broadway-Fillmore R-8; N-15)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 237 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

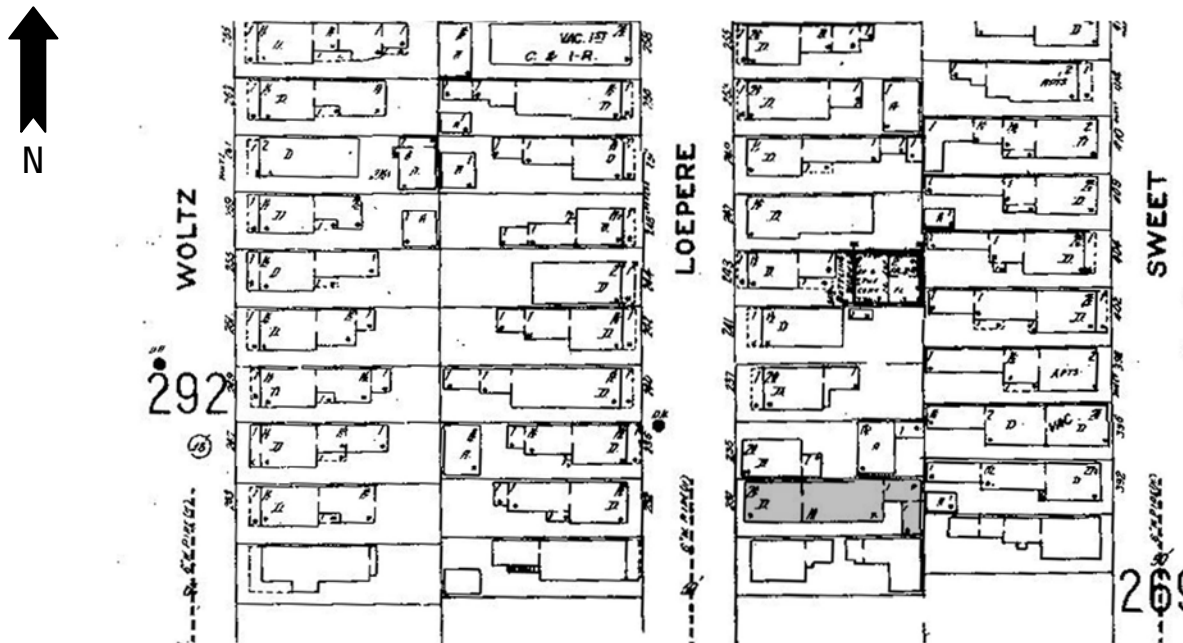
The multiple-family house at **237 Loepere Street** is located on the east side of the street, between Sycamore Street and Walden Avenue. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A two-and-one-half-story, frame Craftsman residence. It has a rectangular plan and no foundation. The façade has a full-width porch with a Craftsman-detailed porch that includes square, battered square piers set on wood-shingled pedestals, and a solid rail sheathed with wood shingles. The main entrance is set in the north bay and a triple window grouping is set in the south bay. Exterior wall fabrics are clapboard on the lower level and wood shingle on the upper levels. Fenestration is one-over-one, double-hung wood sash. The gable end features triangular knee-brace brackets, vergeboards, and a paired window grouping. A pent divides the side elevations. A brick chimney rests on the center ridge of the main block. A one-story addition extends east from the east end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **237 Loepere Street** is significant as an excellent example of an early Craftsman house in the Broadway-Fillmore neighborhood. This house was built for Katarzyna Dorobiala. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-8; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 241 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

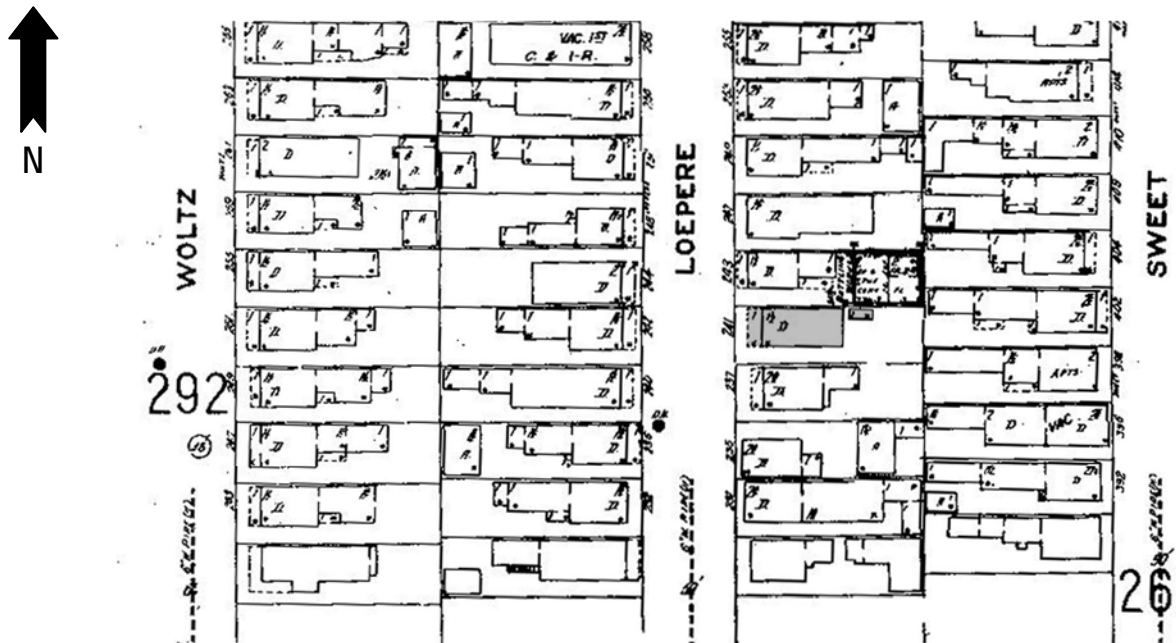
The single-family house at **241 Loeper Street** is located on the east side of the street, between Sycamore Street and Walden Avenue. Loeper Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half-story, frame residence. It has a rectangular plan and no foundation. The façade has a full-width Craftsman-detailed porch that includes battered, square, paneled columns, a solid rail sheathed with wood shingles topped by an open wooden balustrade, and exposed rafter tail ends. The main entrance is set in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is wood shingle. Fenestration is one-over-one, double-hung wood sash. The gable end features vergeboards, a wide frieze, and a paired window grouping. A brick chimney rests on the rear ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 241 Loeper Street is significant as a good representative example of a late nineteenth century, workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-8; N-13)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 279 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca' 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **279 Loeper Street** is located on the east side of the street, between Sycamore Street and Walden Avenue. Loeper Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plant. The façade has a full-width, Craftsman porch with replacement metal supports and rail, and a hipped roof. The entry door is located in the north bay and a triple window grouping with triple pane headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards, a wide frieze and a similar window grouping as the lower façade punctuates the peak. The first floor façade windows have the original leaded glass in the headers. Extending east from the east end of the main block are a one-and-one half story, and two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 279 Loeper Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 303 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

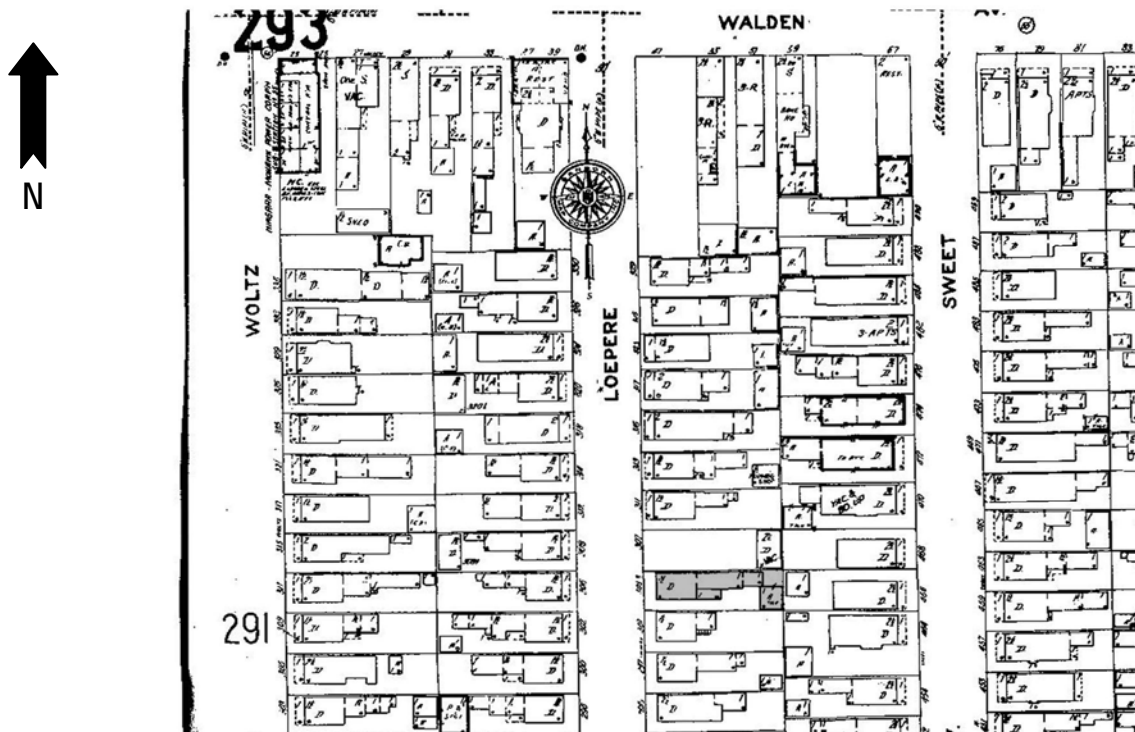
The multiple-family house at **303 Loepere Street** is located on the east side of the street, between Sycamore Street and Walden Avenue. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plant. The façade has a full-width Craftsman porch with a brick foundation and pedestals, battered square piers, a replacement metal rail, and a wood-shingled pediment. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards and a wide frieze. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 303 Loepere Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-8; N-11)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 312 Loepere Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

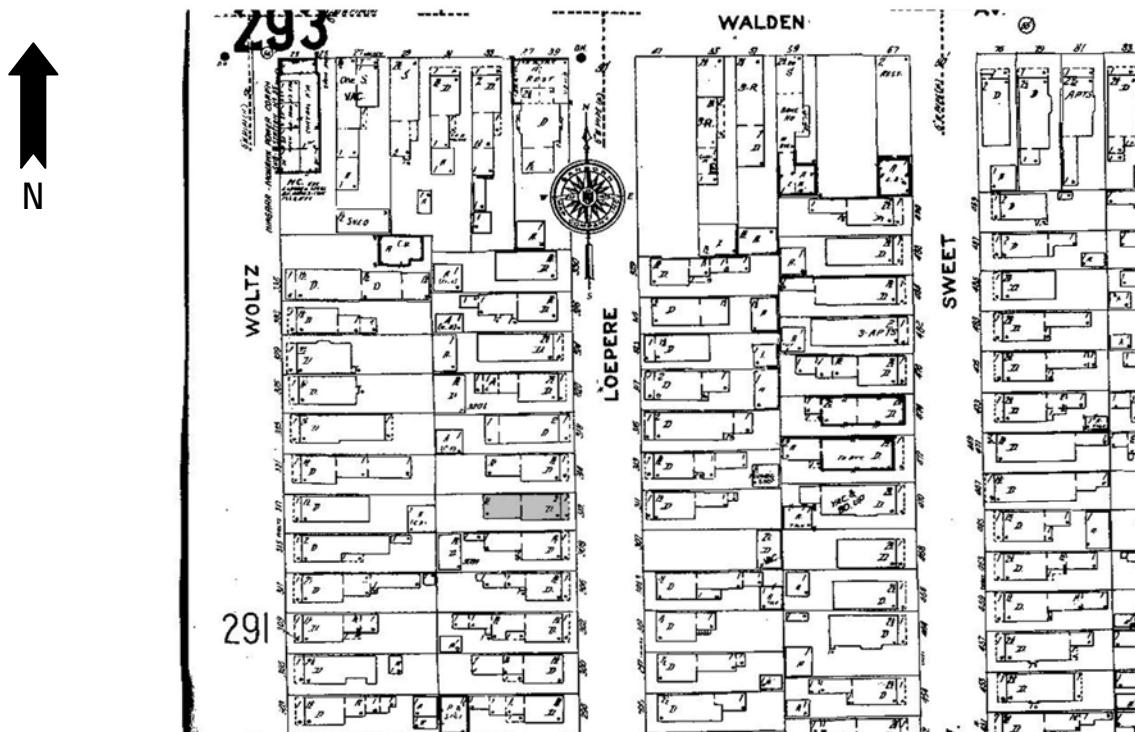
The multiple-family house at **312 Loepere Street** is located on the west side of the street, between Sycamore Street and Walden Avenue. Loepere Street is a residential, three-block long, north-south street extending from Broadway to Walden Avenue. The property is located in the eastern section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A two-story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with battered square columns, an open wooden rail and a flat roof with overhanging eaves. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is three-, two- and one-over-one, double-hung wood sash. Window openings have louvered wooden shutters. The gable end is sheathed with imbricated wood shingles. Extending west from the west end of the main block is a one-and-one-half story, gabled-roof addition. A brick chimney rests on the center ridge of the main block and rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **312 Loepere Street** is significant as a good representative example of late nineteenth century, extended workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-8; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 52 Lombard Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1885

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

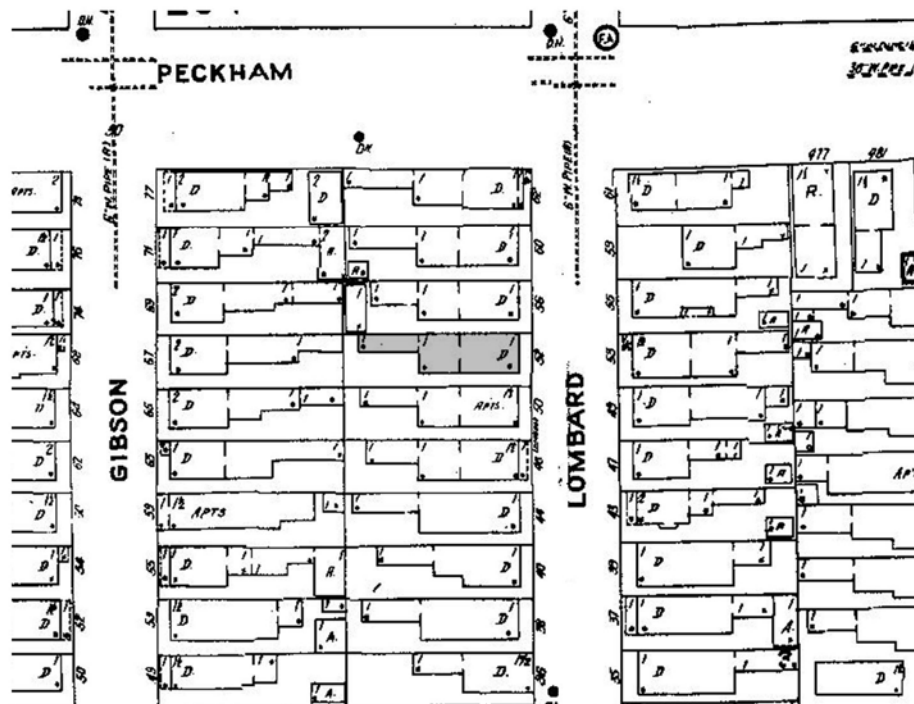
The multiple-family house at **52 Lombard Street** is located on the west side of the street, between Memorial Drive and Peckham Street. Lombard Street is a residential, four-block long north-south street that extends from Memorial Drive to Broadway. The property is located in the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located to the east.

A one-and-one-half story, frame workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with rusticated concrete block foundation, replacement metal supports and rail, and a hipped roof. The main entrance is in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance with a bracketed canopy and a shed dormer. Two, one-story gabled roof additions extend west from west end of the main block. A brick chimney rests on the center roof ridge and on ridges of the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 52 Lombard Street is significant as a good representative example of late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 211



PHOTOGRAPH: (Broadway-Fillmore R-11; N-1)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 78 Lombard Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

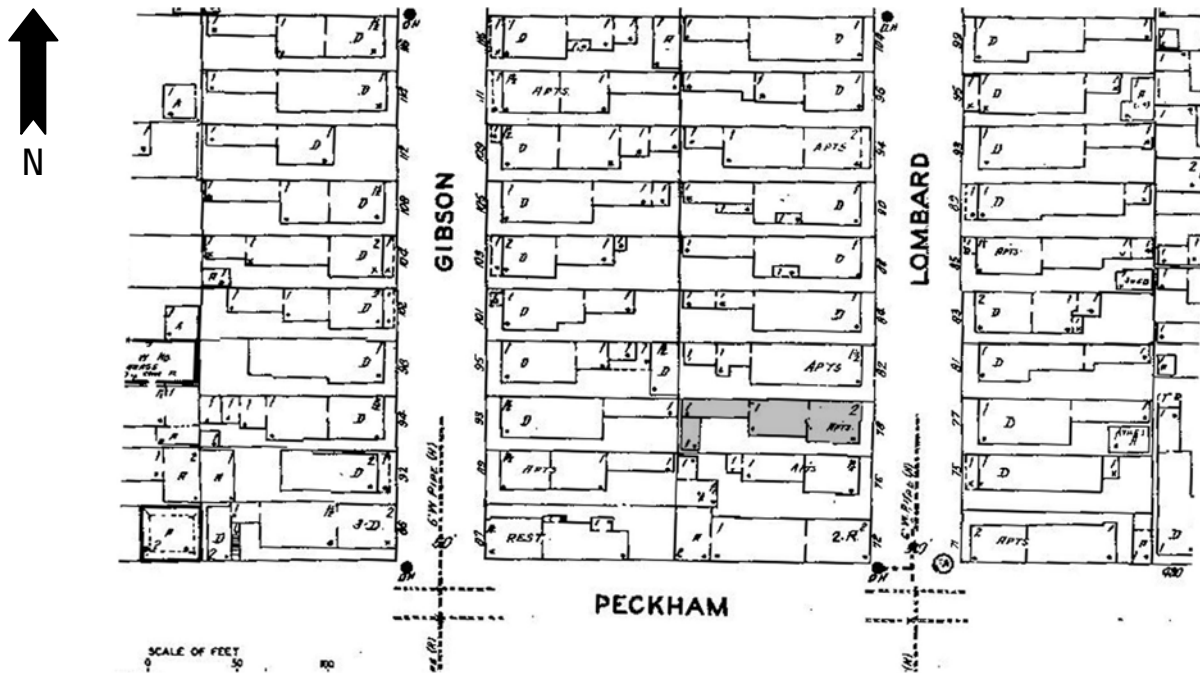
The single-family house at **78 Lombard Street** is located on the west side of the street, between Peckham Street and Paderewski Drive. Lombard Street is a residential, four-block long north-south street that extends from Memorial Drive to Broadway. The property is located in the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located to the east.

A one-and-one-half story, frame workers' cottage with attic and no foundation. It has a rectangular plan. The façade has an entrance in the north bay with a replacement stoop and a triple window grouping with three-over-one double-hung sash in the south bay. . Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance with a bracketed canopy. Two, one-story gabled roof additions extend west from west end of the main block. A brick chimney rests on the center roof ridge and on ridges of the rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 78 Lombard Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-11; N-2)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 94 Lombard Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

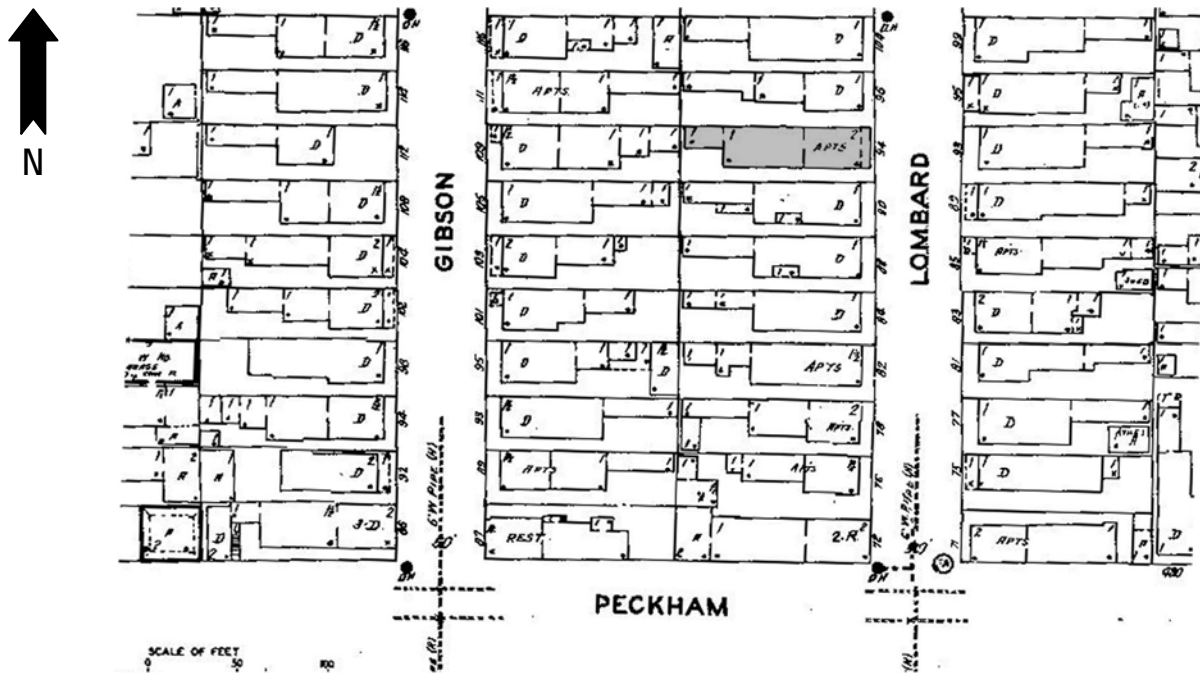
The two-family house at **94 Lombard Street** is located on the west side of the street, between Peckham Street and Paderewski Drive. Lombard Street is a residential, four-block long north-south street that extends from Memorial Drive to Broadway. The property is located in the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located to the southeast. A vacant lot borders the property to the north.

A two story, front-gabled, frame workers' cottage with no foundation. It has a rectangular plan. The façade has a recessed porch with square columns, and open wooden rail. The enclosed entrance is located in the north bay. Exterior wall fabric is clapboard on the ground floor and wood shingle on the upper level. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance with a bracketed canopy. A one-and-one-half-story and one-story gabled roof additions extend west from west end of the main block. A brick chimney rests on the center roof ridge of the main block and the rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 94 Lombard Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. It features an unusual recessed porch, and the front portion may be a 1908 enlargement of the earlier house. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-11; N-3)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 95 Lombard Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows, brick porch-1925 Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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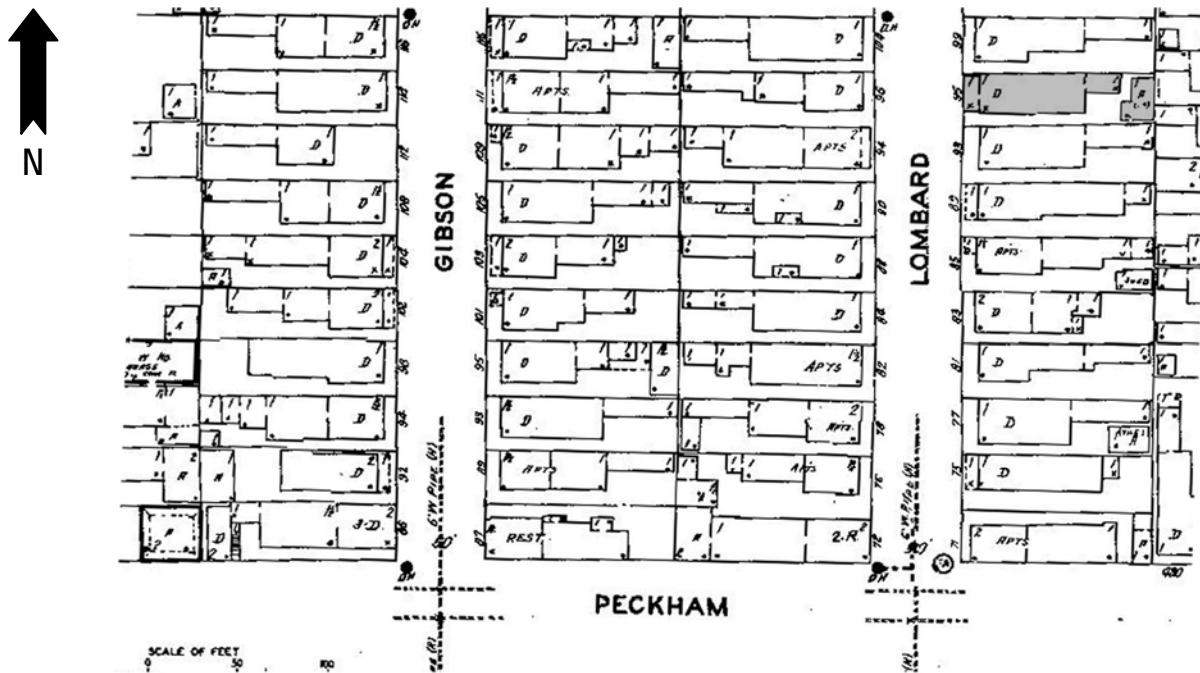
The single-family house at **95 Lombard Street** is located on the east side of the street, between Peckham Street and Paderewski Drive. Lombard Street is a residential, four-block long north-south street that extends from Memorial Drive to Broadway. The property is located in the southern section of the Broadway-Fillmore neighborhood. The former New York Central Terminal complex is located to the southeast. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame workers' cottage with no foundation. It has a rectangular plan. The façade has an enclosed, full-width, brick porch with casement windows with a continuous stone sill and leaded glass transoms. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Eastlake molding accents the gable end. A one-and-one-half-story and one-story gabled roof additions extend east from east end of the main block. A brick chimney rests on the center roof ridge of the main block and the rear addition. A detached garage stands at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 95 Lombard Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with an early twentieth century brick living porch. The porch was added by Edmund J. Szymanski in 1925. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 204



PHOTOGRAPH: (Broadway-Fillmore R-11; N-4)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) Lederman's

Address or Street Location 239 - 241 Lombard Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known Louis Greenstein, architect Date of construction, if known 1929

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Storefront Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

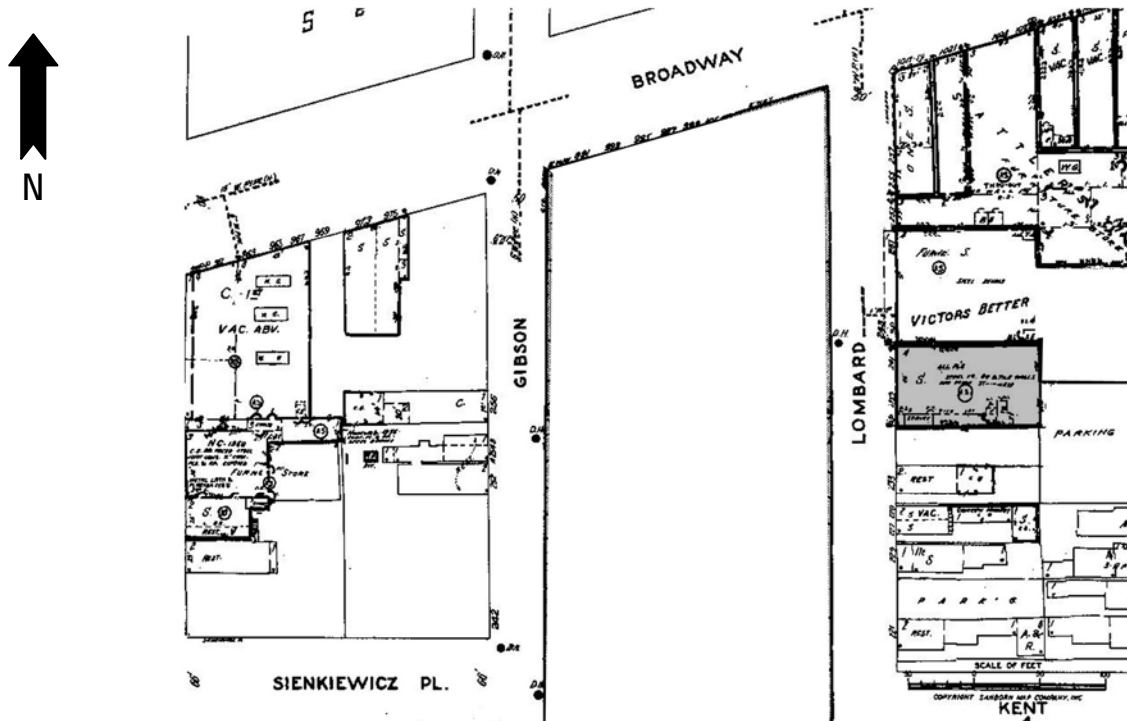
The commercial building at **239-241 Lombard Street** is located on the east side of the street, between Kent Street and Broadway. Paderewski Drive. Lombard Street is a residential, four-block long north-south street that extends from Memorial Drive to Broadway. The property is located in the central section of the Broadway-Fillmore neighborhood, within the commercial business district. The Broadway Market occupies the block directly opposite, on the west side of the street.

A four-story, two-part commercial block with a steel frame and a mixed brick and clay tile walls. The original storefront has been completely altered, though the stone panels on the corner piers and frieze, and the stone cornice survive. The upper part of the building retains much of its original building and stylistic fabric, though the second floor is presently boarded as are three window openings on the fourth floor. The seven-bay-wide, upper façade is articulated by brick, full-height piers with stone bases and capitals. Fenestration is symmetrical with three-over-three-double-hung, wood sash and stone sills. The end bays are capped by a segmental arch and pediment with a decorative stone keystone. The central five-bay section of the façade rises into a corbelled cornice with a stepped pediment. The store's original name "Lederman's," executed in Art Deco-type font, adorns the parapet.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 239-241 Lombard Street is significant as a good representative example of an architect-designed, large-scale commercial building with Art Deco details constructed in the 1929 in the Broadway-Fillmore neighborhood. Designed by local architect Louis Greenstein, it reflects the popular architectural style of the period for municipal and commercial buildings. It was built as a furniture store for Charles Lederman, whose last name adorns the parapet.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Broadway-Fillmore R-2; N-25)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 28 Memorial Drive

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Commercial/Residence Current use Commercial/Residence

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

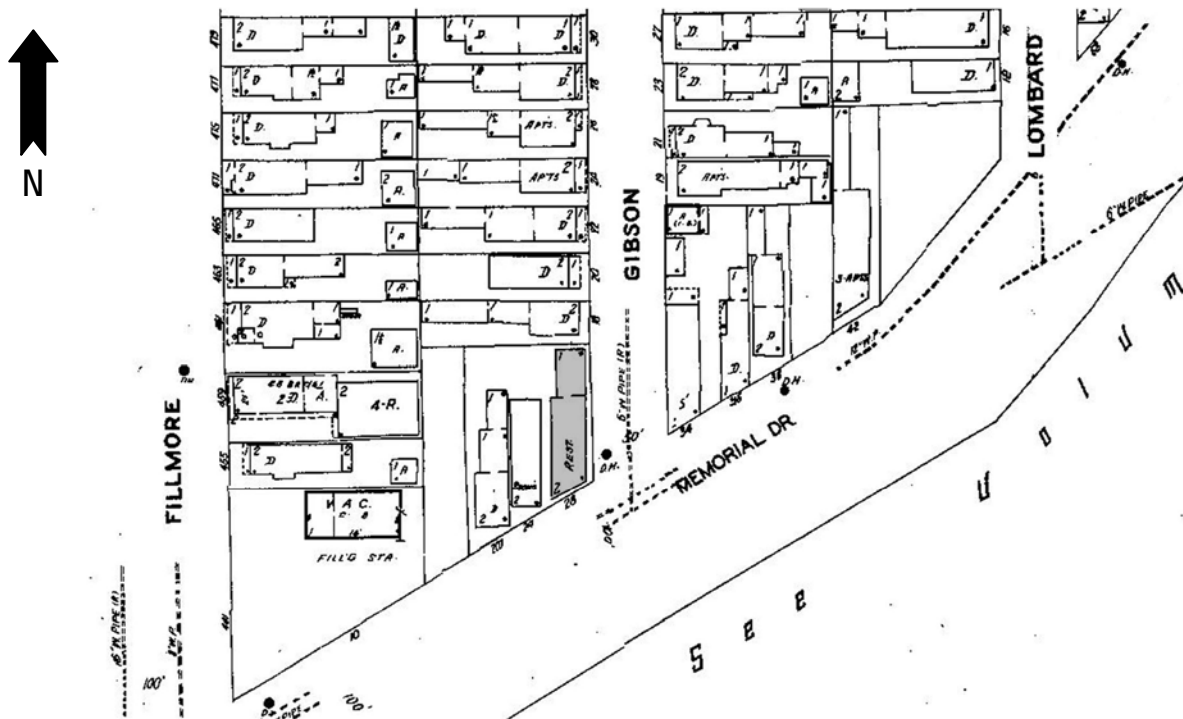
The building at **28 Memorial Drive** is located on the northwest corner of Memorial Drive and Gibson Street, in the southern section of the Broadway-Fillmore neighborhood. Memorial Drive once served as the primary north-south thoroughfare for the former New York Central Terminal; it connects Walden Avenue and Broadway. The property stands opposite the terminal, to the west.

A two-and-one-half-story, front-gabled mixed-use building. It has a rectangular plan and is set on a rusticated concrete block foundation. The brick commercial front has a corner entrance bay with stoop, and large fixed display windows. Exterior wall fabrics are clapboard on the first floor and wood shingles on the upper level. Fenestration is paired, one-over-one double-hung wood sash. The gable end features cornice returns and a paired window grouping of six-over one, double-hung wood sash. A side entrance with bracketed hood is located on the east elevation. A one-story, gabled-roof addition extends north from the north end of the main block. Two brick chimneys rest on the east slope and one is located on the east slope of the rear addition.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 28 Memorial Drive is significant as a good representative example of a Craftsman inspired building constructed in the twentieth century as a combination dwelling and commercial building. It was built as a saloon and dwelling for the Gerhard Lang Brewery, which was the largest pre-Prohibition brewery in New York outside of New York City. Located at Jefferson Avenue and Best Street, it was also Buffalo's largest, single-plant brewery ever built. Gerhard Lang, like other local brewers operated many saloons on the East Side to promote their products. Lang's owned more saloons and beer gardens than anyone in Buffalo, with some eighty to their credit. Their beer was Buffalo's most popular brand and it was found in every corner bar.

MAP: Sanborn Map (Revised 1886) – Plate 211



PHOTOGRAPH: (Broadway-Fillmore R-10; N-25)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 74 Milburn Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☒ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **74 Milburn Street** is located on the west side of the street, between Grimes and Ashley streets. Milburn Street is a residential, three-block long, north-south street that begins at the northern boundary of the former New York Central Terminal property (as a dead end) and terminates at Broadway. The street forms part of the western boundary for the Broadway-Fillmore neighborhood.

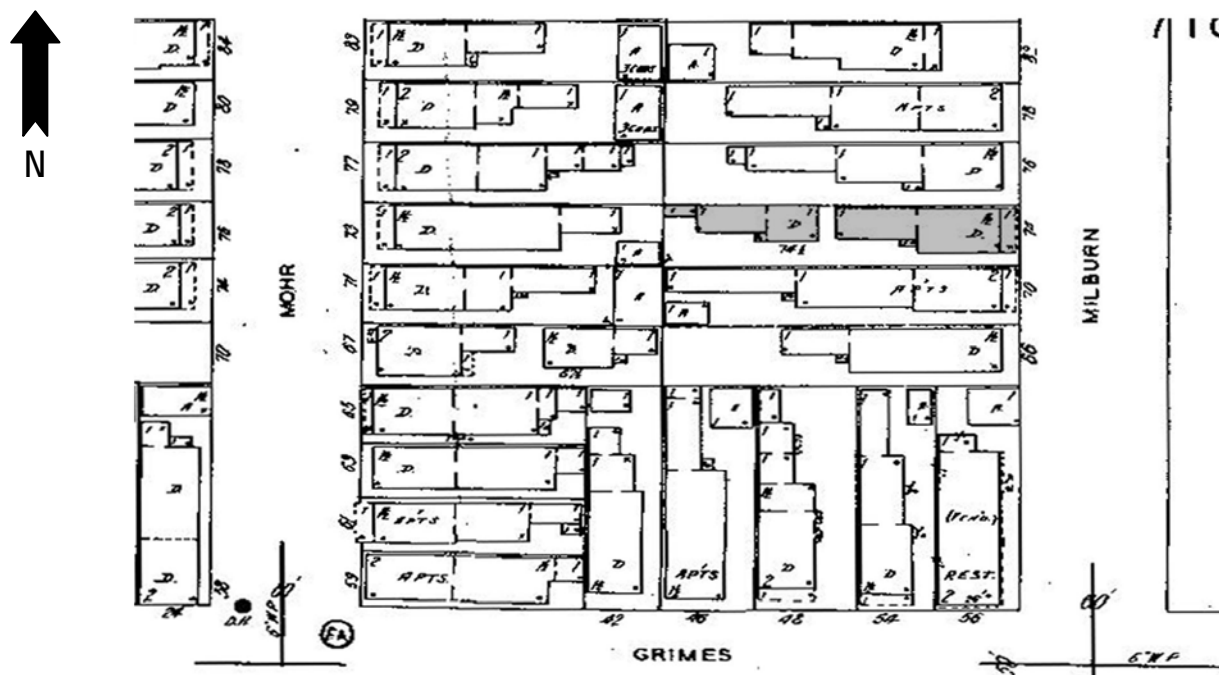
A one-story, front-gabled, frame workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman-detailed porch with rusticated concrete block and pedestals, square, paneled piers, and open wooden rail, and a hipped roof with exposed rafter tail ends. The main entrance is in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A brick chimney rests on the center ridge of main block. A one-story addition extends west from the west end of the main block.

A detached workers' cottage is located on the same lot to the west.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 74 Milburn Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 717



PHOTOGRAPH: (Broadway-Fillmore R-14; N-10)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 133 Milburn Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1896

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

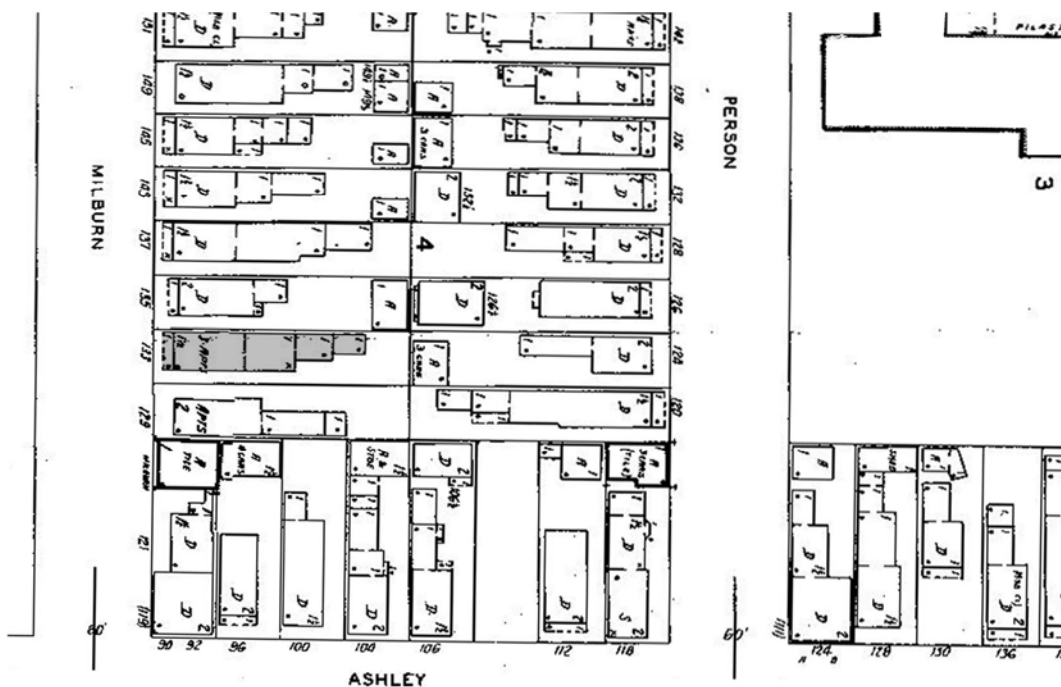
The building at **133 Milburn Street** is located on the east side of the street, between Ashley Street and Broadway. Milburn Street is a residential, three-block long, north-south street that begins at the northern boundary of the former New York Central Terminal property (as a dead end) and terminates at Broadway. The street forms part of the western boundary for the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman-detailed porch featuring a rusticated concrete block foundation and pedestals, battered-square, paneled-piers, an open wooden rail, and a hipped roof with exposed rafter tail ends. The main entrance is in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement. The first floor windows are presently boarded. The gable end has wide raking cornice Eastlake molding below. The south elevation has a side entrance with bracketed hood. A one-story addition extends east from the east end of the main block. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 133 Milburn Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a Craftsman porch. It was built for John Lowicki. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 719



PHOTOGRAPH: (Broadway-Fillmore R-14; N-7)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 137 Milburn Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1903

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at **137 Milburn Street** is located on the east side of the street, between Ashley Street and Broadway. Milburn Street is a residential, three-block long, north-south street that begins at the northern boundary of the former New York Central Terminal property (as a dead end) and terminates at Broadway. The street forms part of the western boundary for the Broadway-Fillmore neighborhood.

A one-story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width, Craftsman-detailed porch featuring a square, columns, a replacement metal rail, paneled-piers, replacement metal rail, and a hipped roof with exposed rafter tail ends. The main entrance is in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement. The gable end has wide raking cornice Eastlake molding below. The south elevation has a side entrance with bracketed hood. A one-story addition extends east from the east end of the main block. A brick chimney rests on the center ridge of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 137 Milburn Street is significant as a good representative example of an early twentieth century, extended workers' cottage with a Craftsman porch. It was built as a two-family house for Rose Dombrowska. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 19 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1904

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

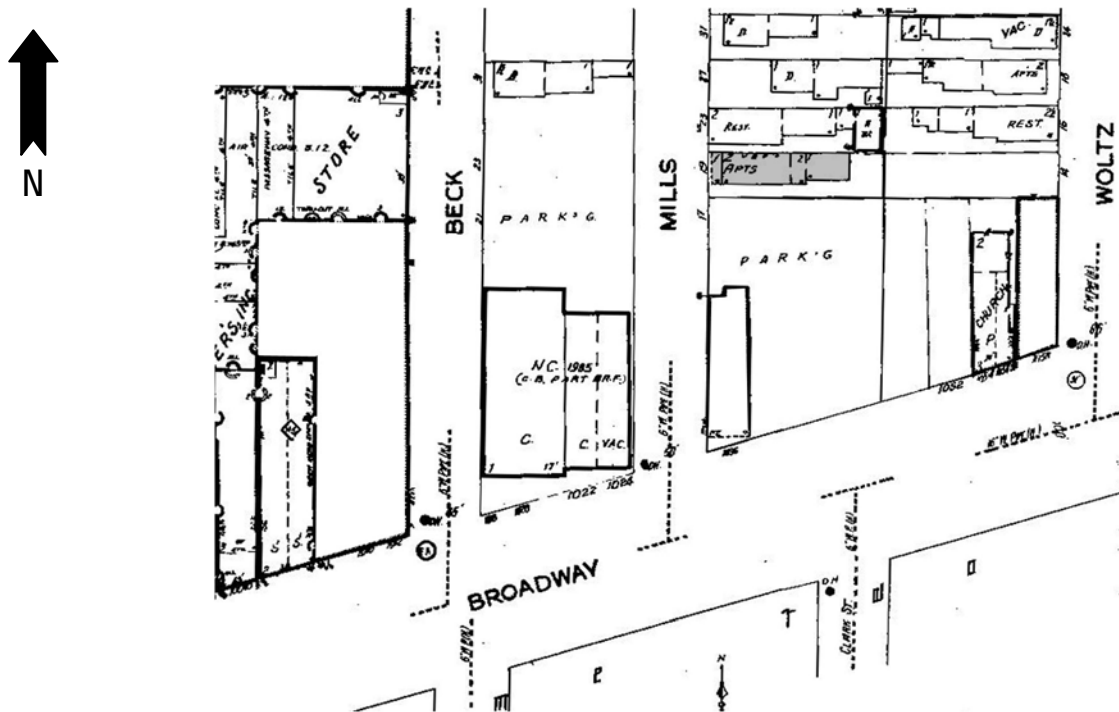
The multiple-family house at 19 Mills Street is located on the east side of the street, just north of Broadway. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood. A vacant lot borders the property to the south.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a rectangular plan and is set on a rough-cut, limestone block foundation. Fenestration is one-over-one-double-hung wood sash. Exterior fabrics are clapboard and wood shingle. The façade has a full-width porch with square columns and an open wooden rail. The entrance door is located in the north bay. The second floor façade has an open porch with replacement balustrade and an oriel in the south bay. The overhanging gable features brackets and a paired window grouping with pent. Other elements include corner boards and beltcourses. A brick chimney rests on the south slope. A two-story addition extends east from the east end of the main block. The house is currently vacant and the windows on the ground floor are boarded.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 19 Mills Street is significant as a good representative example of a multiple-family residence with Craftsman detailing constructed in the early twentieth century in the Broadway-Fillmore neighborhood. The house was built for Frank Boroszewski in 1904, after the earlier house had been moved to the rear of the lot and converted into a stable. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-7; N-12)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 69 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1888

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

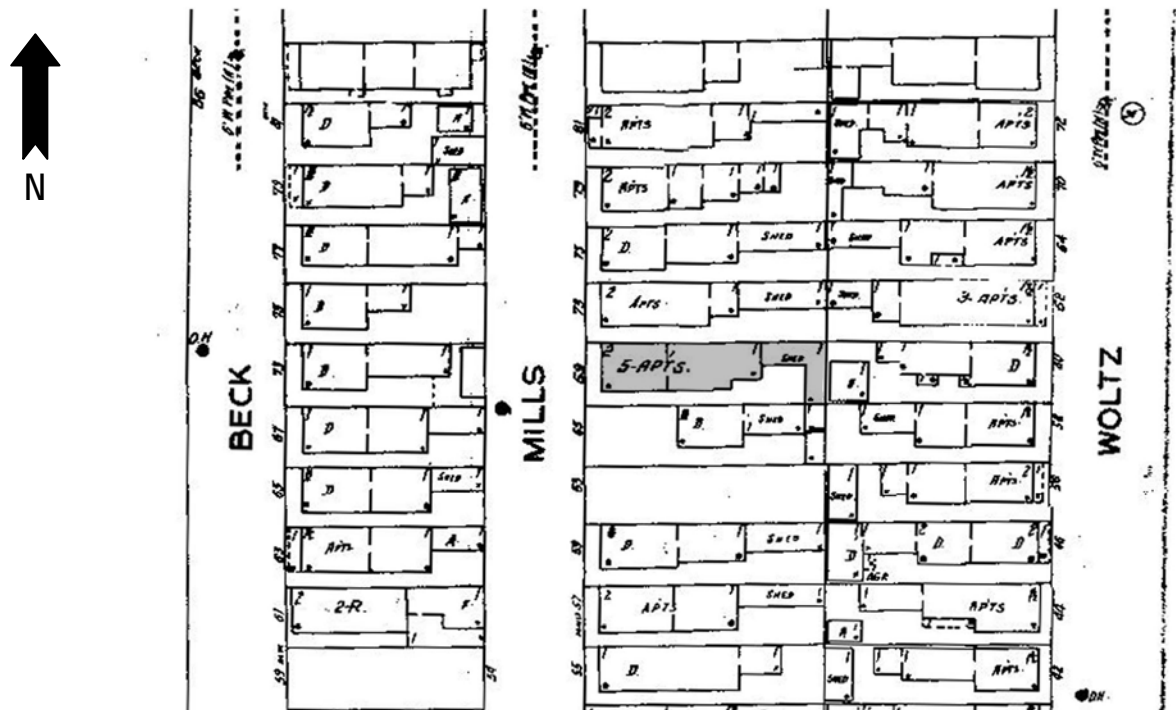
The multiple-family house at 69 Mills Street is located on the east side of the street, north of Broadway. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood.

A two-story, front-gabled residence with attic and Eastlake detailing. It has a rectangular plan and no foundation. Fenestration is one- and two-over-one-double-hung wood sash. Exterior fabrics are clapboard and wood shingle. The façade has a two entrance doors with pent in the north bay. The gable end features Eastlake molding. A brick chimney rests on the center ridge. A gabled, one-story addition extends east from the east of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 69 Mills Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This house was built in three sections in 1888 for Otto Klein: a 20x32 dwelling, 12 feet high; an 18x20 kitchen, 10 feet high; and an 8x16 wood shed, 8 feet high. This layout was typical for most of the workmen's cottages built on the east side during the period. The front section was later raised to a full 2 stories. (Originally No. 67) This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 255



PHOTOGRAPH: (Broadway-Fillmore R-7; N-13)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 89 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

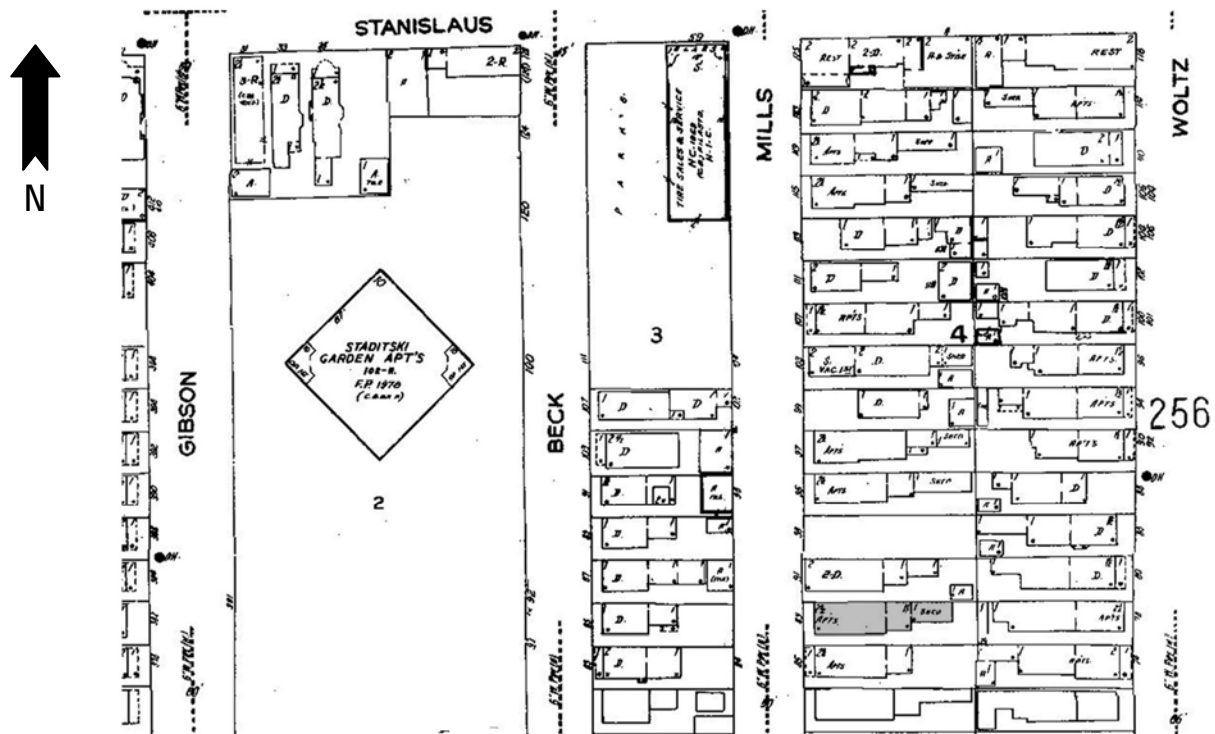
The multiple-family house at 89 Mills Street is located on the east side of the street, north of Broadway. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood. Vacant lots border the property to the north and south.

A two-story, front-gabled residence with attic and Eastlake detailing. It has a rectangular plan and no foundation. Fenestration is symmetrical with one-over-one-double-hung wood sash. Exterior fabric is clapboard. The façade has an entrance in the north bay with a replacement stoop. The gable end features Eastlake molding. Gabled, two- and-one story additions extend east from the east end of the main block. Concrete block chimneys rest on the ridge of the main block and additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 89 Mills Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. It was built for Donicela Leppert, who built many houses on this street between 1893 and 1895. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-7; N-14)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 139 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

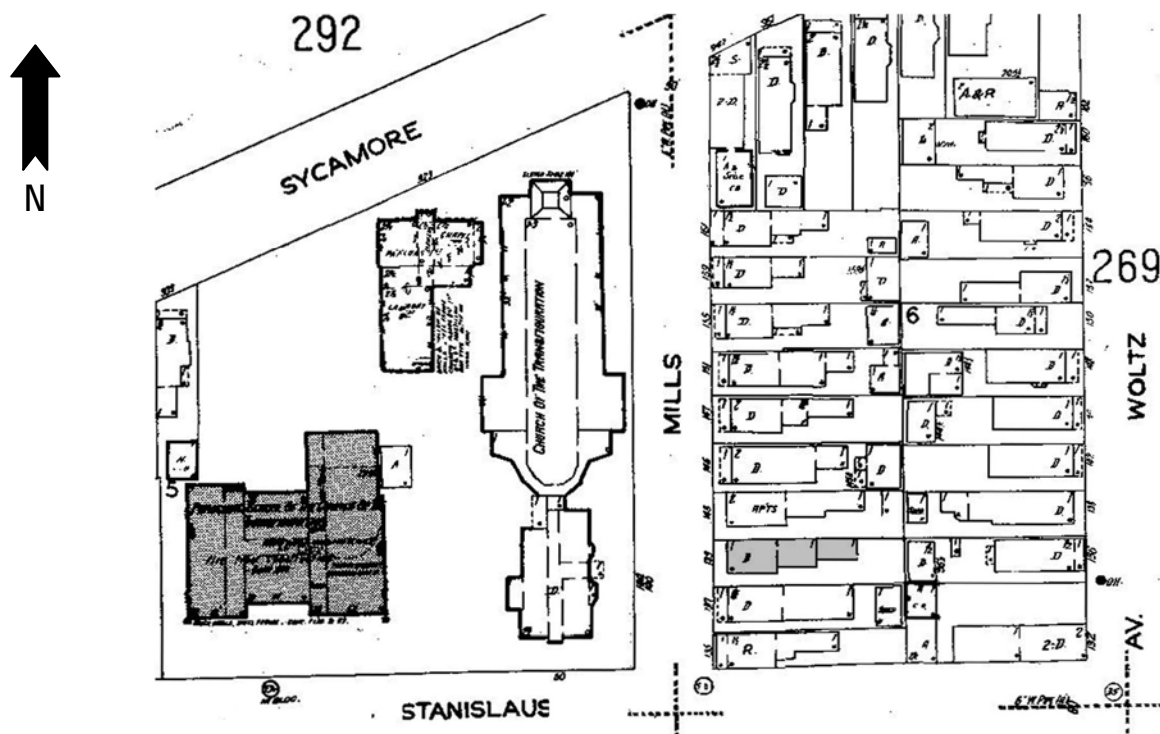
The single-family house at 139 Mills Street is located on the east side of the street, just north of Stanislaus Street. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood. A vacant lot borders the property to the north. The Church of the Transfiguration complex occupies the opposite side of the block.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with paneled square piers, and a wood-shingled pediment. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features corner boards. Extending east from the east end of the main block are two, one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 139 Mills Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-7; N-15)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

### IDENTIFICATION

Property name (if any) Church of the Transfiguration Rectory

Address or Street Location 144 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Religious Current use Religious

Architect/Builder, if known Władysław H. Zawadzki, architect Date of construction, if known 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☐ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: Clay tile roof

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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### Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The Rectory of the Church of the Transfiguration 144 Mills Street is located on the northwest corner of Stanislaus and Mills streets. Stanislaus Street is a mixed residential-institutional, nine-block long, east-west street that extends between Fillmore Avenue and Lathrop Street. The property is located in the northeast quadrant of the Broadway – Fillmore neighborhood. Church of the Transfiguration, Convent, and School are located on the same block to the north and west.

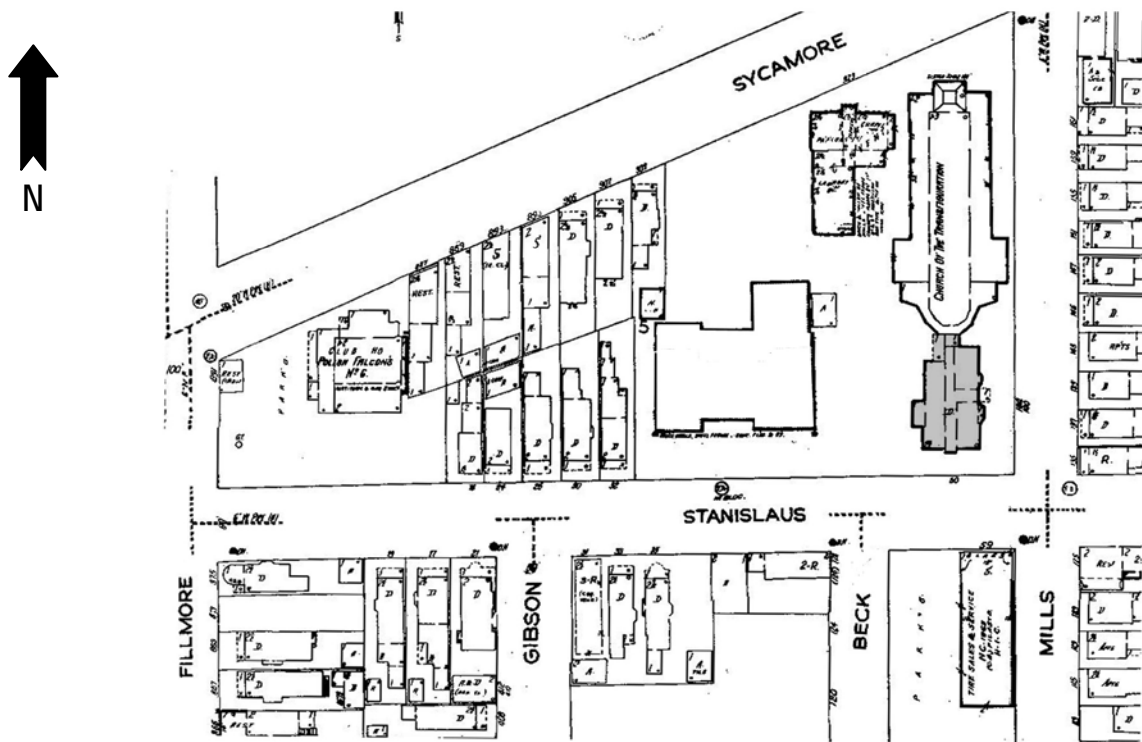
A two-story, building with a yellow brick veneer and Spanish Colonial/Mediterranean detailing. The hipped roof is sheathed with pantile. The building has a rectangular plan and a raised basement. The south façade has a projecting, central bay with a pointed-arch opening capped by a stone hood. The entrance bay is flanked by a rectangular, one-story bay with pent roof with pantile. Fenestration is one-over-one double-hung wood sash. The east elevation has a side entrance and two round bays with pantile roof.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 144 Mills Street is significant as an excellent example of an architect-designed, ancillary religious building constructed in the early twentieth century in the Broadway-Fillmore neighborhood. Prominent local architect Władysław H. Zawadzki designed this Colonial/Mediterranean building in 1925. In 1893, the diocese erected the Church of the Transfiguration on Stanislaus and Mills Streets to serve the growing number of communicants in the already developed section of the neighborhood. It was the only church erected by the Austrian Poles from Galicia. Designed by local architect Carl Schmill in the German Gothic style, the red brick and local Medina sandstone church is classified as a landmark by the City of Buffalo. Adjacent to the church, which unfortunately is no longer used for services, are parish buildings including a school (also by Zawadzki), convent, and rectory, a grouping that was typical of nineteenth-century urban church complexes. Presently, the Paradise House, a drug rehabilitation center for women in the former Church of the Transfiguration rectory occupies the building

Władysław H. Zawadzki the most important Polish-American architect in Buffalo, designed a number of buildings in the Broadway-Fillmore neighborhood and, that as a group, constitute his best work. Born in Poznan in 1872, Zawadzki immigrated to Buffalo as a young man. Before opening his own practice in the neighborhood, he worked for the American Bridge Company and the Lackawanna Steel Company. Among his other buildings on Broadway are the diminutive Romanesque style Hodkiewicz-Cohen Bakery (1906) at 1132 Broadway, and the Renaissance style Lipowicz's wholesale grocery store (1912; an earlier section by an unknown architect was built ca. 1900) at 1201 Broadway. In addition to designing important commercial buildings in the area, W. H. Zawadzki drew plans for the three most important Polish-American neighborhood social and cultural centers: the Renaissance style Dom Polski Building (1905-1906, an institution modeled on the YMCA) at 1081 Broadway, the Polish Singing Circle Building (1907) at 1170 Broadway, and impressive, three-story Polish Union Hall (1914) at 761 Fillmore Avenue.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-7; N-18)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 147 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1905

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

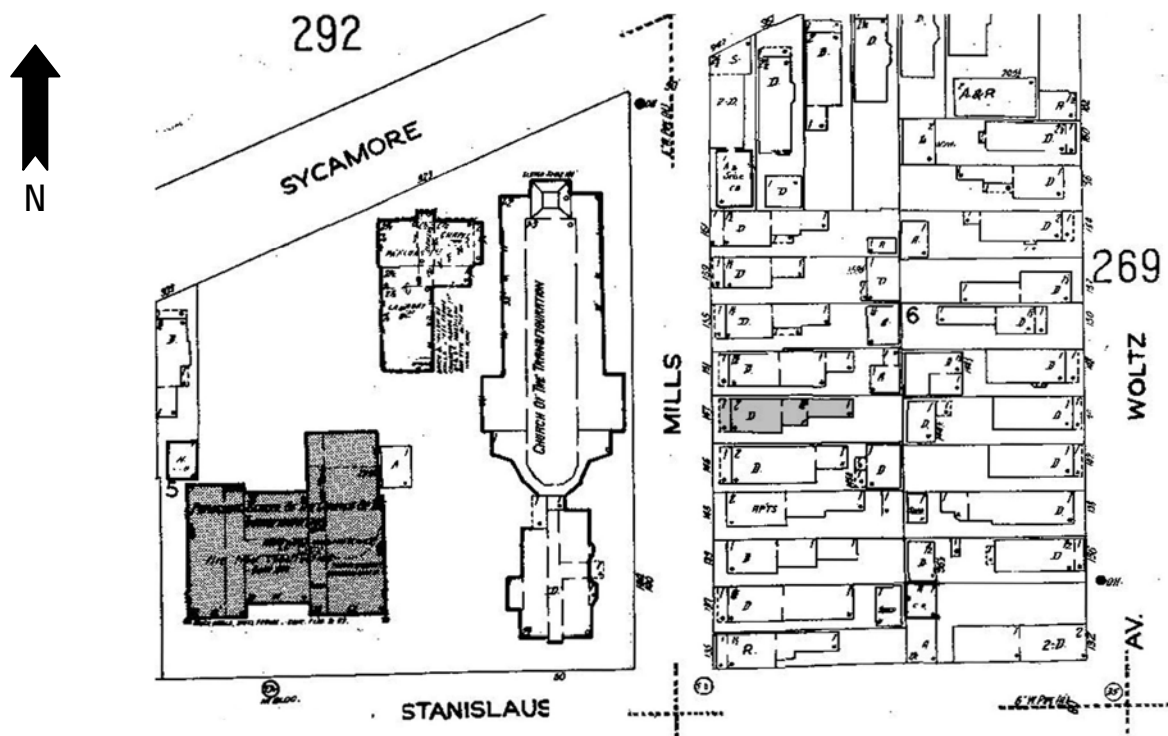
The two-family house at 147 Mills Street is located on the east side of the street, between Stanislaus and Sycamore streets. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood. A vacant lot borders the property to the north. The Church of the Transfiguration complex occupies the opposite side of the block.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a full-width porch with paneled piers with brackets set on wood-shingled pedestals, a wood shingled rail and hipped roof. The entrance door is located in the north bay and a triple window grouping with headers is set in the south bay. Fenestration is one-over-one-double-hung wood sash. Exterior fabrics are clapboard and wood shingle. The upper façade has an oriel in the south bay and the peak has a pent over a small double window opening. Two brick chimneys rest on the south slope. A one-and-one-half-story addition and a one-story addition extend east from the east end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 147 Mills Street is significant as a good representative example of an early Craftsman residence constructed in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 268



PHOTOGRAPH: (Broadway-Fillmore R-7 N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 225 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Vacant

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition: ☐ excellent ☐ good ☒ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

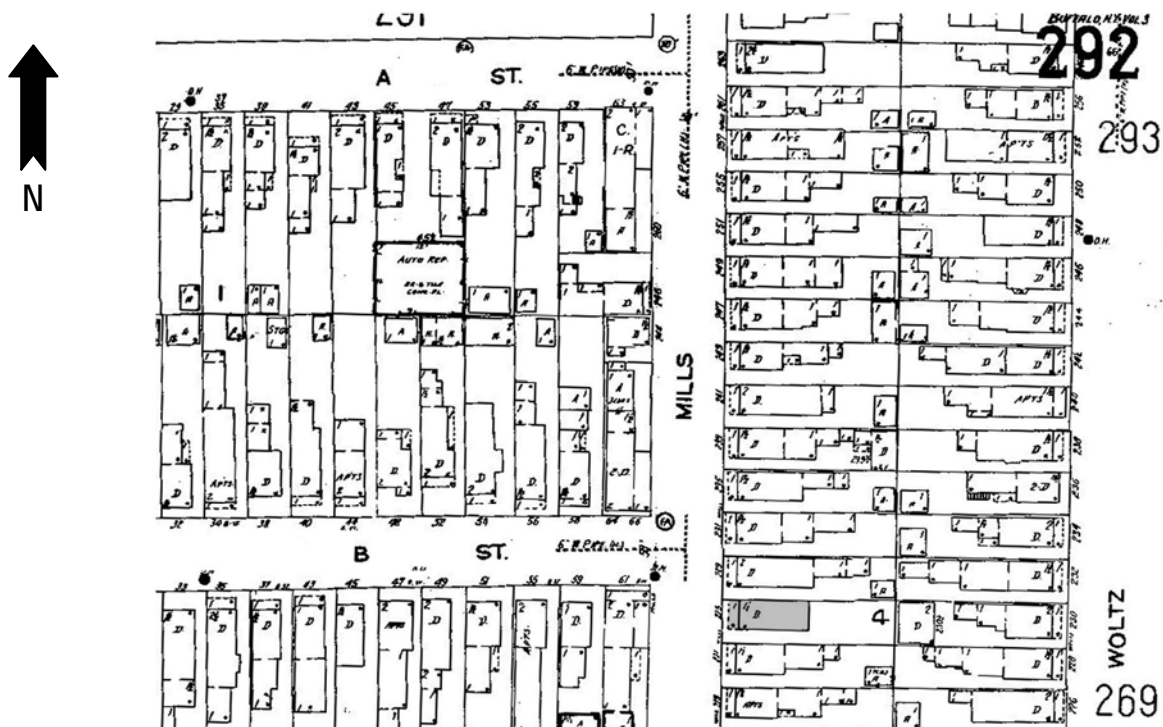
The building at 225 Mills Street is located on the east side of the street, between B and C streets. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, frame workers' cottage with a steeply-pitched front-gabled roof. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width Craftsman-detailed porch that includes square columns, a replacement open rail and a pediment above the entrance. The main entrance is in the north bay. Exterior wall fabrics are clapboard and wood shingle. The ground floor window and door openings are presently boarded. Fenestration in the gable end is one-over-one, double-hung wood sash. A brick chimney rests on the center ridge.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 225 Mills Street is significant as a good representative example of an early twentieth century, extended workers' cottage with a Craftsman porch. It was built for John J. Fillinger. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 292



PHOTOGRAPH: (Broadway-Fillmore R-6; N-16)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 251 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1890

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: Addition 1910 Date: 1910

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

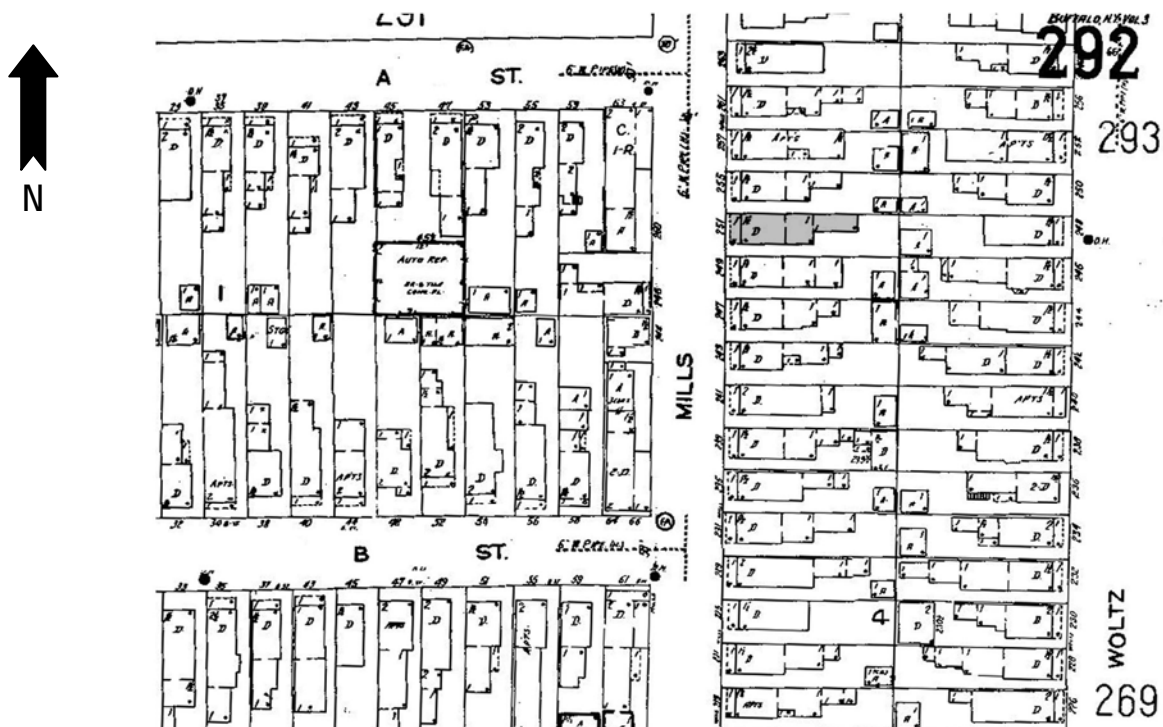
The single-family house at 251 Mills Street is located on the east side of the street, between A and B streets. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the central section of the Broadway Fillmore neighborhood.

A one-and-one-half story, frame workers' cottage with a steeply-pitched, front-gabled roof. It has a rectangular plan and no foundation. The façade has a full-width Craftsman-detailed porch that includes square columns, an open wooden rail and a wood-shingled pediment above the entrance. The main entrance is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A brick chimney rests on the center ridge. A one-story addition with entrance on the south elevation extends east from the east end of the main block.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 251 Mills Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with a Craftsman porch. It received an addition in 1910. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 292



PHOTOGRAPH: (Broadway-Fillmore R-6; N-17)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 263 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known ca. 1925

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☐ stone ☐ brick ☐ poured concrete ☒ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

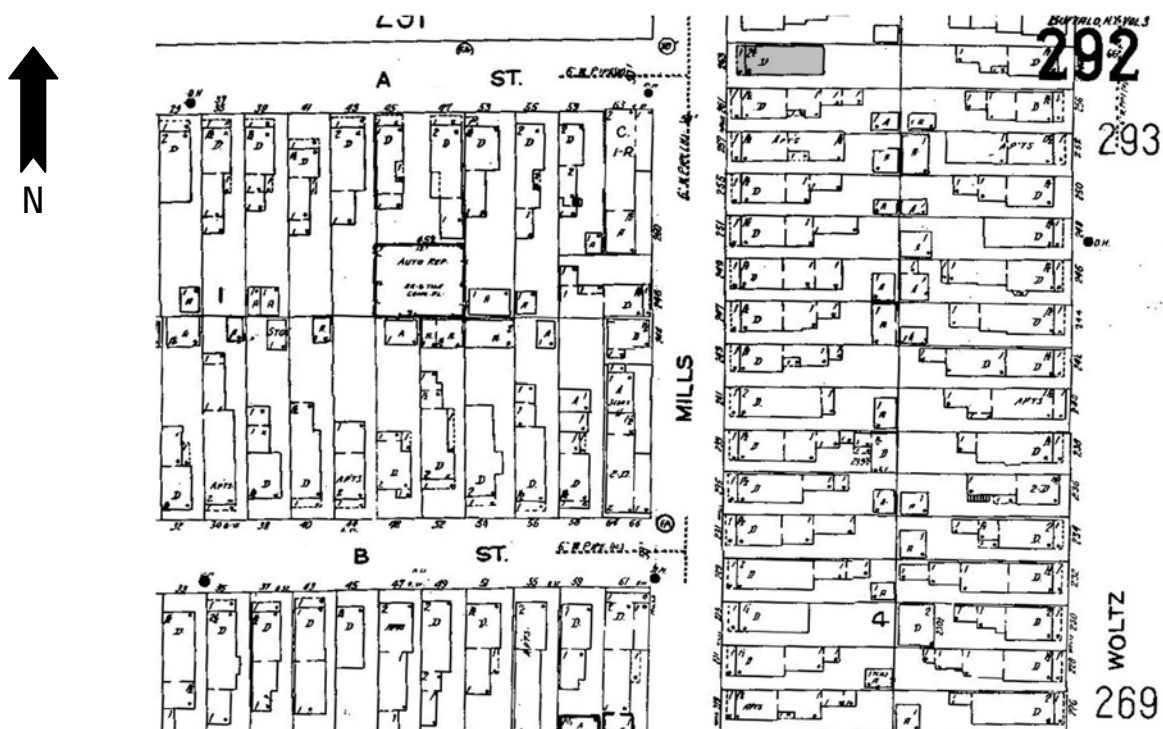
The multiple-family house at 263 Mills Street is located on the east side of the street, at the eastern end of A Street. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the northern-central section of the Broadway Fillmore neighborhood. A vacant lot borders the property to the south. Public School No. 90 occupies the block to the northwest.

A two-story, hipped-roof, frame building with a Craftsman porch. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width porch with rusticated concrete block pedestals and foundation, battered square paneled piers and an open wooden rail. The entrance is located in the north bay and a triple window grouping is set in the south bay. Fenestration is symmetrical with one-over-one double-hung wood sash. Exterior fabrics are clapboard on the first floor and wood shingle on the upper floor. The upper façade has an open porch with metal balustrade, a rectangular oriel in the south bay, and an entrance in the north bay. A hipped dormer with a triple window grouping rests on the front slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 263 Mills Street is significant as a good representative example of a Craftsman residence constructed in the early twentieth century in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1886) – Plate 292



PHOTOGRAPH: (Broadway-Fillmore R-6; N-6)







## HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY

USN:

### IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 333 Mills Street

County Erie Town/City Buffalo Village/Hamlet: \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895

### DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: ☒ asphalt, shingle ☐ asphalt, roll ☐ wood shingle ☐ metal ☐ slate

Foundation: ☒ stone ☐ brick ☐ poured concrete ☐ concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: remodeled (1898), brick veranda (1925) Date: \_\_\_\_\_

Condition: ☐ excellent ☒ good ☐ fair ☐ deteriorated

### Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

### Maps

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

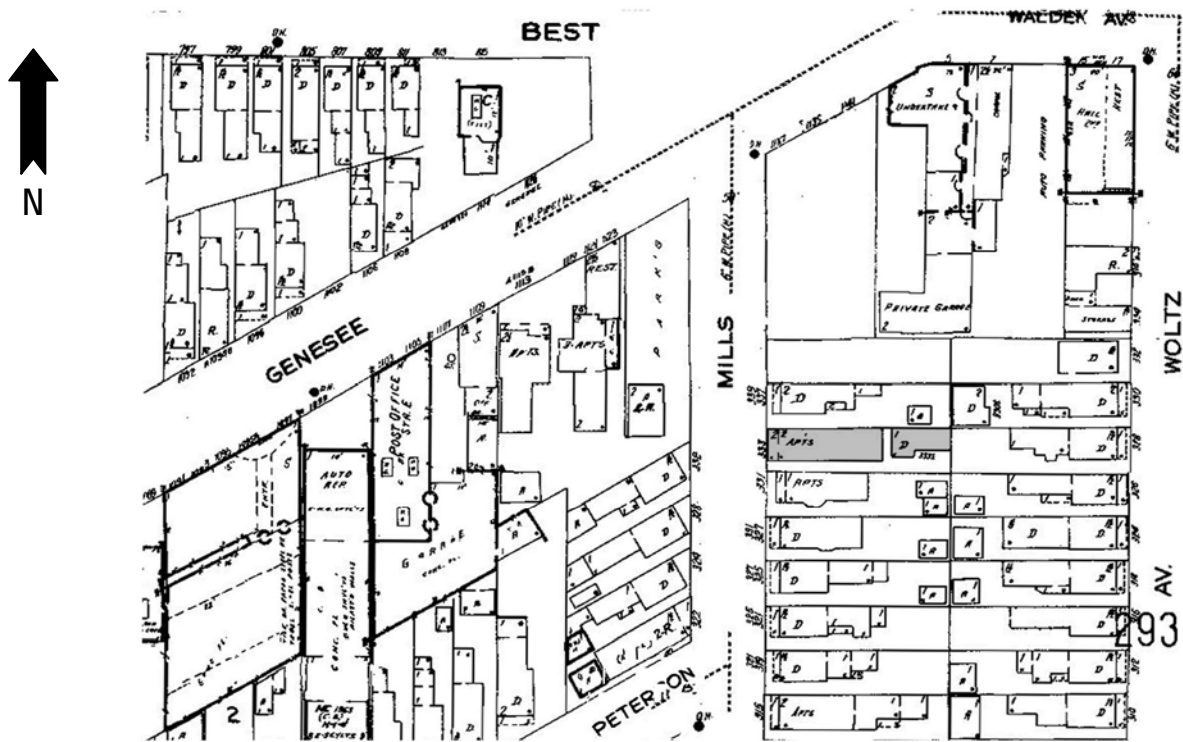
The multiple-family house at 333 Mills Street is located on the east side of the street, between Peterson and Genesee streets. Mills Street is a residential, seven-block long, north-south street located between Broadway and Genesee Street. The property is located in the northern-central section of the Broadway Fillmore neighborhood. A vacant lot borders the property to the south. Public School No. 90 occupies the block to the southwest.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a rectangular plan and is set on a limestone block foundation. The façade has tiered brick porches; the ground floor contains a cutaway porch in the north bay and a living porch with leaded glass headers. The upper porch has an open wooden rail and square corner piers supporting a flat roof. Fenestration is symmetrical with one-over-one-double-hung wood sash. Exterior fabric is clapboard. The gable end has a triple window grouping with diamond pattern in the upper sash capped by a pent. A brick chimney rests on the south slope. A two story addition with entrance on the south elevation extends east from the east end of the main block. A detached, front-gabled, one-and one-half- story cottage sheathed with clapboard stands on the northeastern corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 333 Mills Street is significant as a good representative example of an expanded late nineteenth century, workers' cottage. It was built as a one-and-one-story dwelling for C. Braun in 1895, and remodeled as a two-story dwelling for George Merkling in 1898. The unusual two-story brick veranda was added for Tony Gudonias in 1925, who converted the building into a 4 family tenement in 1933. In the early twentieth century, workers' cottages were commonly enlarged to accommodate growing families and the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area.

MAP: Sanborn Map (Revised 1986) – Plate 291



PHOTOGRAPH: (Broadway-Fillmore R-7; N-19)

